

City of Kelowna
Regular Council Meeting
AGENDA



Tuesday, July 15, 2014
6:00 pm
Council Chamber
City Hall, 1435 Water Street

Pages

1. Call to Order
2. Prayer
A Prayer will be offered by Councillor Stack.
3. Confirmation of Minutes 1 - 10
Public Hearing - June 24, 2014
Regular Meeting - June 24, 2104
4. Bylaws Considered at Public Hearing
 - 4.1 TO BE DEFERRED - Draft Rresolution, Bylaw No. 10975 (TA14-0003) - Adding A1m - Agriculture 1 with Medical Marihuana Production Facility Designation to the A1 - Agriculture 1 Zone 11 - 11

To defer consideration of Bylaw No. 10975 pending further discussion with the Minister of Agriculture.
 - 4.2 Bylaw No. 10978 (OCP13-0019) - 1855 Bennett Road, 1005 Clifton Road North and (E of) Paly Road 12 - 17

Requires a majority of all members of Council (5).
To give Bylaw No. 10978 second and third readings and be adopted.
 - 4.3 Bylaw No. 10976 (OCP13-0017) - 901-911 Stremel Road, Tamdan Ventures Ltd. 18 - 19

Requires a majority of all members of Council (5).
To give Bylaw No. 10976 second and third readings.
 - 4.4 Bylaw No. 10977 (Z13-0040) - 901-911 Stremel Road, Tamdan Ventures Ltd. 20 - 21

To give Bylaw No. 10977 second and third readings.
5. Notification of Meeting

The City Clerk will provide information as to how the following items on the Agenda were publicized.

6. Liquor License Application Reports

- 6.1 Liquor License Application No. LL14-0004 - 1346 Water Street, Fireweed Brewing Corporation 22 - 40

City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the liquor license application to come forward.

To seek Council's support for a manufacturer lounge endorsement with an interior capacity of 86 persons and a patio capacity of 86 persons.

- 6.2 Liquor License Application No. LL13-0013 - 1125 Richter Street, Calona Wines 41 - 51

City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the liquor license application to come forward.

To purpose of this Liquor License Application is to revise the occupant load of a recently considered Special Event Area Endorsement to the existing winery Liquor Licenses for Calona Wines.

7. Development Permit and Development Variance Permit Reports

- 7.1 NEW ITEM - Bylaw No. 10918 (Z13-0042) - 3112 Watt Road, Ian Sisett 52 - 52

To adopt Bylaw No. 10918 in order to rezone the subject property from the RU1 - Large Lot Housing zone to the RU1c - Large Lot Housing with Carriage House zone.

- 7.1.1 Development Variance Permit Application No. DVP13-0185 - 3112 Watt Road, Ian and Marguerite Sissett 53 - 66

City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.

The purpose of the Development Variance Permit is to vary the permitted height of a proposed carriage house from 4.5m to 6.19m.

- 7.2 Development Variance Permit Application No. DVP14-0100 - 1346 Water Street, Tod Melnyk (Delta Hotels) 67 - 78

City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.

The purpose of the Development Variance Permit is to vary the side yard setback for a trellis structure from 4.5m to 0.76m; and to vary the front yard setback for a weather protection entry roof feature from 4.5m to 1.79m.

- 7.3 Development Permit Application No. DP14-0093 and Development Variance 79 - 148

Permit Application No. DVP14-0094 - 460 Doyle Avenue, Meiklejohn Architects

City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.

To consider a Development Permit and Development Variance Permit for the six storey Okanagan Centre for Innovation proposal.

8. Reminders
9. Termination



City of Kelowna Public Hearing Minutes

Date: Tuesday, June 24, 2014
 Location: Council Chamber
 City Hall, 1435 Water Street

Members Present Mayor Walter Gray and Councillors Colin Basran, Andre Blanleil, Gail Given, Mohini Singh, Luke Stack and Gerry Zimmermann

Members Absent Councillors Maxine Dehart and Robert Hobson

Staff Present City Manager, Ron Mattiussi; Deputy City Clerk, Karen Needham; Manager, Urban Planning, Ryan Smith; Supervisor, Urban Planning, Lindsey Ganczer; Manager, Subdivision, Agriculture & Environment Services; Todd Cashin*; Development Engineering Manager, Steve Muenz*; and Council Recording Secretary, Arlene McClelland

1. Call to Order

Mayor Gray called the Hearing to order at 6:09 p.m. Mayor Gray advised that the purpose of the Hearing is to consider certain bylaws which, if adopted, will amend "Kelowna 2030 - Official Community Plan Bylaw No. 10500" and Zoning Bylaw No. 8000", and all submissions received, either in writing or verbally, will be taken into consideration when the proposed bylaws are presented for reading at the Regular Council Meeting which follows this Public Hearing.

2. Notification of Meeting

The Deputy City Clerk advised that Notice of this Public Hearing was advertised by being posted on the Notice Board at City Hall on June 10, 2014 and by being placed in the Kelowna Capital News issues on June 13, 2014 and June 17, 2014 and by sending out or otherwise delivering 80 statutory notices to the owners and occupiers of surrounding properties, and 5903 informational notices to residents in the same postal delivery route, between June 10, 2014 and June 13, 2014. The correspondence and/or petitions received in response to advertising for the applications on tonight's agenda were arranged and circulated to Council in accordance with Council Policy No. 369.

3. Individual Bylaw Submissions

- 3.1. Bylaw No. 10962 (OCP14-0005) and Bylaw No. 10963 (Z14-0006) - 235 Queensway Avenue, 1470 & 1476 Water Street, Portions of Mill Street & Queensway Avenue, Westcorp Holyrood Inc.

Staff:

- Displayed a PowerPoint Presentation summarizing the application before Council and responded to questions from Council.

The City Clerk advised that the following correspondence and/or petitions had been received:

Letters of Support

- Curtis Darmohray, Kelowna Chamber of Commerce, Harvey Avenue
- Brad Field, Hidden Ridge Place
- Bob Evans, Lysons Crescent and Leon Avenue
- Bruce and Kim Davis, Viewcrest Court
- John Bachelder, South Wind Drive
- Jeff Stibbard, JDS Mining, Leon Avenue
- Renee Wasylyk, Troika Group, Ambrosi Road
- David Pihl, Pihl Law Corporation, Ellis Street
- Yarden Gershony, Rush Ihas Hardwick LLP, Bernard Avenue
- Meghan O'Mara, Colliers International, Leon Avenue
- Trevor Butler, Campus Court
- Jack Shabbits, Colliers International, Leon Avenue
- Gary Tebbutt, Compass Real Estate Developments Ltd., Lequime Avenue
- Roy Sommerey, Dewdney Road
- Angie Bricker, Uplands Drive
- Rick Pushor, Poplar Point Drive
- Randy Urban, Peridot Place
- John Peacock, Sarsons Road
- Lynn Burkart and Mel Pointer, Cascia Drive
- Barry Johnson, Kelowna
- Brian Hillaby, Kelowna
- Bonnie Simpson, Denali Drive
- Dallas Gray, Chilcotin Crescent
- Luigi Cocco, La Bussola Restaurant, Ellis Street
- Paul Maarschalk, Adastra Corporate Finance Inc., Spall Road
- Jim Hawkins, Diamcor Mining Inc., Dickson Avenue (Ogopogo Rotary Club)
- Dave Ledinski, Western Financial Group, Harvey Avenue
- Luc Schingh, Lakepointe Drive
- Bob Brown, Canadian Western Bank, Bertram Street
- Andrew Bruce, Melcor Developments Ltd., Richter Street
- John Hertay, Academy Way
- Bradley Gay, Stewart Road East
- Cheryll Gillespie, Kelowna
- Ingo Grady, Mission Hill Family Estate, Mission Hill Road, West Kelowna
- Daniel Lobsinger, Associated Property Management, St Paul Street
- Jason Doell, Interior Portable Rentals, Neave Road
- Garry Norkum, Finch Road, Lake Country, (owner of Springfield Road and Acland Road properties)
- Michael Ballingall, Thompson Okanagan Tourism Association
- Martin Cronin, Helios Global Technologies Ltd.
- Francis Braam, Christina Place
- Nancy Cameron, Tourism Kelowna, Richter Street
- Scott Brown, West Avenue
- Bruce, Andrew and Peter Middleton, Cools Point Management, McCurdy Place
- Jacqueline and Bruce Jones, Abbott Street
- Allison Ramchuk, Lequime Road
- Peggy Athans, Lequime Road
- Layla Miller, Seon Crescent
- Jamie Meyer, CanCADD Imaging Solutions Ltd., Dickson Avenue
- Jeff Hudson, Morrison Avenue
- Amarjit Lalli, McKenzie Road
- Robert Fershau, Ben Walker and David James, MMM Group Limited, Leon Avenue
- Perry Freeman, Colliers International, Leon Avenue
- Debbie Hudson, Morrison Avenue
- Carol Nedham, Viewcrest Court
- Jim Nixon, Grantham

- Joanne Theberge, Longridge Drive
- Jorin and Wayne Wolf, Sutherland Avenue
- Lesley Spiegel, Synergy Events Inc., Richter Street
- Peter Raja, Marona Court
- Ken Ficocelli, BDO Canada LLP, Dickson Avenue
- Shelley Gilmore, Skyland Drive
- Shane Styles, McClure Road

Letters of Opposition

- Maria Tokarchuk, Fuller Avenue
- Anita Carpenter, Lanfranco Road
- Beryl Itani, Richter Street

Letters of Concern:

- Dina Kotler, Kelowna

Correspondence submitted from Applicant
Barry Lapointe, Kelowna Flightcraft Ltd.
Brad Attwood, Earl's Hollywood on Top Restaurant Ltd.

Mayor Gray invited the applicant or anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

Applicant, Gail Temple, Director of Development, Westcorp Properties Inc. & Michael McDonald, Westcorp:

- Displayed a PowerPoint Presentation with an overview of the development.
- Advised that this has been a hotel site since the 1920's.
- Advised there would be a pedestrian connection to Stuart and Kerry Park.
- Advised that public use of the loading bay will be protected by Statutory Right of Way.
- Advised that many public consultations were held as well as many one on one meetings with landlords and tenants in the area.
- Advised that Traffic and Civil Consultants were also in attendance.
- Displayed a Video of the proposed development on the subject properties.

Gallery:

Richard Burroughs, Taylor Crescent

- Praised community use of the Pier.
- Appreciate Westcorp and their design team efforts on the proposal as it is phenomenal from every perspective and is the appropriate use for this location.
- Believes investment by the private sector is essential to a community.
- Full support of this development.

Bob Evans, Leon Avenue

- Recognized the effort and time required to get the project to this point and excited to see a landmark hotel of this caliber for downtown Kelowna.
- Height done well within the space.
- Supports this development.

Applicant, Gail Temple, Director of Development, Westcorp Properties Inc

- Submitted two more letters of support from Barry Lapointe and Brad Attwood.
- Advised that there will be no preload on the site and that the project will be an 18 to 22 month process.

There were no further comments.

3.2. Bylaw No. 10972 (Z14-0014) - 890 Mayfair Road, Henry & Ingrid Janzen

Staff:

- Displayed a PowerPoint Presentation summarizing the application before Council.

- Clarified that the existing accessory building, a shed, will be torn down and replaced with a carriage house.

The City Clerk advised that the following correspondence and/or petitions had been received:

Letter of Opposition:

- Doug and Maricel Rhodes, Hollywood Road North

Applicant, Henry Janzen, Danube Court

- Advised that the hedge along the front has been removed. The small hedge between the neighbor and subject property will remain.
- The house is in good condition but not suitable to make into a duplex. Applied instead for a carriage house.

There were no further comments.

3.3. Bylaw No. 10973 (Z14-0015) - 2248 Abbott Street, Susan Bennett

Staff:

- Displayed a PowerPoint Presentation summarizing the application before Council.

The City Clerk advised that the following correspondence and/or petitions had been received:

Letter of Opposition:

- Vicki Presley, Abbott Street

Applicant, Steve Nixon, Long Street

- Advised that the existing home is old with many additions.
- Has lived in the area for 12 years and is aware of the parking issues; allowed for parking on site.
- Advised that the neighbourhood has been canvassed with a positive response to the design.

Gallery:

Brian Woinoski, Abbott Street

- Advised that they are extremely happy with the proposal.
- The Applicant has done a good job engaging and showing us the designs.
- Supportive of this application.

There were no further comments.

3.4. Bylaw No. 10960 (OCP13-0003) and Bylaw No. 10961 (Z13-0004) - 1800 Crosby Road, DRS Ventures Ltd.

Staff:

- Displayed a PowerPoint Presentation summarizing the application before Council and responded to questions from Council.

The City Clerk advised that the following correspondence and/or petitions had been received:

Letters of Opposition:

- Maya Moessner, Moubray Road
- Irene Hawrysh, Whitman Road

Letter of Concern:

- Kris and Erika Kohut, Ranchmont Crescent

Applicant, Dawn Williams DE Pilling & Associates

- Met with neighbours to address concerns.
- Revised the proposal as a result of Council's concerns at initial reading.

- Advised that the property to the north was undevelopable and it has now been dedicated to park. Will provide public access to the park.
- Reduced the footprint to actual footprint of the road excavation. Protects road below, as well as the existing trail and homes to provide some security.

Gallery:

Resident, Ranchmont Crescent

- Live adjacent to proposed development.
- Met with Dawn Williams and understood the development was for 12 homes and believes it is now 24 homes.
- Raised concerns with access and egress issues with potential increase in traffic.
- Raised concerns with parking.

Staff:

- Clarified that this is only a 12 lot subdivision, not 24.

Brent Stadnyk, Cosens Court

- Advised that he had not been spoken to regarding the development.
- This development will be right behind his home.
- Raised safety concerns for young children with construction traffic on the narrow street.
- Concerned with removal of trees, water and drainage affecting his property, and the damage potential due to the disturbance of land.

Development Engineering Manager:

- Advised that drainage will be controlled through road system; curb and gutter.

Applicant, Dawn Williams DE Pilling & Associates

- Clarified communication with neighbours. Provided a two page handout with contact information to homes within 50 meters of the proposal which included the last speaker. If the owner was not home for discussion the package was left at the residence. Signage for the proposal was erected.
- Advised that drainage will be controlled through road system; curb and gutter.
- Confirmed there have been no changes to the proposal since last conversation with neighbours; 12 lot subdivision.
- A geotechnical study determined no blasting is required. There will be no removal of trees.
- Confirmed dedication of current pathway.

There were no further comments.

4. Termination

The Hearing was declared terminated at 7:44 p.m.

Mayor

/acm



Deputy City Clerk



City of Kelowna

Date: Tuesday, June 24, 2014
Location: Council Chamber
City Hall, 1435 Water Street

Members Present Mayor Walter Gray and Councillors Colin Basran, Andre Blanleil, Gail Given, Mohini Singh, Luke Stack and Gerry Zimmermann

Members Absent Councillors Maxine Dehart and Robert Hobson

Staff Present City Manager, Ron Mattiussi; Deputy City Clerk, Karen Needham; Manager, Urban Planning, Ryan Smith; Supervisor, Urban Planning, Lindsey Ganczer; Manager, Subdivision, Agriculture & Environment Services; Todd Cashin*; Development Engineering Manager, Steve Muenz*; and Council Recording Secretary, Arlene McClelland

1. Call to Order

Mayor Gray called the meeting to order at 7:57 p.m.

2. Prayer

A Prayer was offered by Councillor Singh.

3. Confirmation of Minutes

Moved By Councillor Zimmermann/Seconded By Councillor Basran

R471/14/06/24 THAT the Minutes of the Public Hearing and Regular Meeting of June 10, 2014 be confirmed as circulated.

Carried

4. Bylaws Considered at Public Hearing

4.1. Bylaw No. 10962 (OCP14-0005) - 235 Queensway Avenue, 1470 & 1476 Water Street, Portions of Mill Street & Queensway Avenue, Westcorp Holyrood Inc.

Moved By Councillor Given/Seconded By Councillor Stack

R472/14/06/24 THAT Bylaw No. 10962 be read a second and third time.

Carried

4.2. Bylaw No. 10963 (Z14-0006) - 235 Queensway Avenue, 1470 & 1476 Water Street, Portions of Mill Street & Queensway Avenue

Moved By Councillor Stack/Seconded By Councillor Given

R473/14/06/24 THAT Bylaw No. 10963 be read a second and third time.

Carried

4.3. Bylaw No. 10972 (Z14-0014) - 890 Mayfair Road, Henry & Ingrid Janzen

Moved By Councillor Singh/Seconded By Councillor Basran

R474/14/06/24 THAT Bylaw No. 10972 be read a second and third time.

Carried

4.4. Bylaw No. 10973 (Z14-0015) - 2248 Abbott Street, Susan Bennett

Moved By Councillor Singh/Seconded By Councillor Basran

R475/14/06/24 THAT Bylaw No. 10973 be read a second and third time.

Carried

4.5. Bylaw No. 10960 (OCP13-0003) - 1800 Crosby Road, DRS Ventures Ltd.

Moved By Councillor Basran/Seconded By Councillor Blanteil

R476/14/06/24 THAT Bylaw No. 10960 be read a second and third time.

Carried

4.6. Bylaw No. 10961 (Z13-0004) - 1800 Crosby Road, DRS Ventures Ltd.

Moved By Councillor Blanteil/Seconded By Councillor Basran

R477/14/06/24 THAT Bylaw No. 10961 be read a second and third time.

Carried

5. Notification of Meeting

The City Clerk advised that Notice of Council's consideration of these Development Variance Permit Applications was given by sending out or otherwise delivering 16 statutory notices to the owners and occupiers of surrounding properties, and 1157 informational notices to residents in the same postal delivery route, between June 10, 2014 and June 13, 2014. Notice of Council's consideration of the Temporary Use Permit was given by sending out or otherwise delivering 7 statutory notices to the owners and occupiers of the surrounding properties, and 1691 informational notices to residents in the same postal delivery route, between June 10, 2014 and June 13, 2014.

The correspondence and/or petitions received in response to advertising for the applications on tonight's Agenda were arranged and circulated to Council in accordance with Council Policy No. 369.

6. Development Permit and Development Variance Permit Reports

6.1. Development Variance Permit Application No. DVP14-0046 - 412 Christleton Avenue, Dave and Pam Watland

Staff:

- Displayed a PowerPoint Presentation summarizing the application before Council and responded to questions from Council.

The Deputy City Clerk advised that no correspondence and/or petitions had been received.

Mayor Gray invited the applicant or anyone in the public gallery who deemed to come forward, followed by comments from Council.

Applicant, Pam Watland

- Appreciated the efforts of the Planning Department through the process.
- Believed the process provided an opportunity to connect with neighbours.
- Available to answer any questions.

There were no further comments.

Moved By Councillor Basran/Seconded By Councillor Blanleil

R478/14/06/24 THAT Council authorizes the issuance of Development Variance Permit No. DVP14-0046 for Lot 2, District Lot 14, ODYD, Plan 4366, located on 412 Christleton Ave, Kelowna, BC;
AND THAT the variance to the following section Zoning Bylaw No. 8000 be granted:

Section 9.5b.1 - Carriage House Regulations & Section 13.1.6 - RU1 Development Regulations:

To vary the permitted height of a carriage house from 4.5m to 5.6m.

AND THAT Council authorizes the issuance of Development Variance Permit No. DVP14-0046 and Development Permit No. DP14-0045 for Lot 2, Section 13, District Lot 14, ODYD, Plan 4366, located on 412 Christleton Ave, Kelowna, BC;

AND THAT the variance to the Zoning Bylaw No. 8000 be granted to permit increase the permitted height of a carriage house from 4.5m to 5.6m.

Carried

6.2. Temporary Use Permit No. TUP14-0002 - 2040 Joe Riche Road, Venture Academy

Staff:

- Displayed a PowerPoint Presentation summarizing the application before Council.
- Confirmed that the Applicant had resolved issues with the Fire Department.

The Deputy City Clerk advised that the following correspondence and/or petitions had been received:

Letter of Opposition:

- D. and J. Morton, Kirschner Mountain

Letter of No Objection:

- Howard and Judith Johnson, Gallagher Road

Mayor Gray invited the applicant or anyone in the public gallery who deemed to come forward, followed by comments from Council.

Applicant, Gordon Hay

- Advised that they are not the owners of the property; believes that the owner's have a long term plan to develop the site.

There were no further comments.

Moved By Councillor Zimmermann/Seconded By Councillor Stack

R479/14/06/24 THAT Council authorize Temporary Use Permit No. TUP14-0002 to allow the use of the subject property as a private school for that part of Lot 5, Shown on Plan B4079, Sec. 18, Twp. 27, ODYD, Plan 1991, located at 2040 Joe Riche Rd, Kelowna, BC, for a three (3) year period commencing from June 24, 2014.

Carried

6.3. Development Variance Permit Application No. DVP14-0078 - 3342 Hall Road, Christie Coyne

Staff:

- Displayed a PowerPoint Presentation summarizing the application before Council and responded to questions from Council.

The Deputy City Clerk advised that the following correspondence and/or petitions had been received:

Letter of Support:

- Ross DeFoe, Hall Road

Letter of No Objection:

- Jean Shepherd, Hall Road

Mayor Gray invited the applicant or anyone in the public gallery who deemed to come forward, followed by comments from Council.

Applicant Representative

- Advised that removing the carport will give access to the house that does not exist today. Would like the carport replaced with an attached single family garage for access into the house.
- Confirmed that if sewer were implemented in the future there would be room to park tandem along the side of the house.

There were no further comments.

Moved By Councillor Given/Seconded By Councillor Blanteil

R480/14/06/24 THAT Council authorize the issuance of Development Variance Permit No. DP14-0078, for Lot 13, Section 16, Township 26, ODYD, Plan 15463 located on 3342 Hall Road, Kelowna, BC.

AND THAT the variance to the following section Zoning Bylaw No. 8000 be granted:

Section 12.1.6 (c) - Development Regulations

To vary the minimum front yard setback from 6.0m required to 4.78m proposed.

Carried

7. Reminders - Nil.

8. Termination

The meeting was declared terminated at 8:45 p.m.

Mayor

/acm

K. Sedham
Deputy City Clerk

DRAFT

DRAFT RESOLUTION

Re: Bylaw No. 10975 (TA14-0003) - Adding A1m - Agriculture 1 with Medical Marihuana
Production Facility Designation to the A1 - Agriculture 1 Zone

THAT Council defers consideration of Bylaw No. 10975 with respect to Text Amendment Application No. TA14-0003 pending further discussion with the Minister of Agriculture;

AND THAT staff report back to Council.

Date: July 10, 2014

CITY OF KELOWNA

BYLAW NO. 10978

Official Community Plan Amendment No. OCP13-0019 - Lakeside Communities Inc., Inc. No. A57531 1855 Bennett Road, 1005 Clifton Road North and (E of) Paly Road

A bylaw to amend the "Kelowna 2030 - Official Community Plan Bylaw No. 10500".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT Map 4.1 - **GENERALIZED FUTURE LAND USE** of "Kelowna 2030 - Official Community Plan Bylaw No. 10500" be amended by changing the Generalized Future Land Use designation of:
 - Lots 1 and 2, Section 17, Township 23, ODYD, Plan KAP65503, respectively located on 1855 Bennett Road and 1005 Clifton Road North, Kelowna, BC;
 - Fractional South ½ of East ½ of the North West ¼ of Section 17, Township 23, ODYD, located on (E OF) Paly Road, Kelowna, BC; and
 - The North ½ of the Fractional East ½ of the Fractional North West ¼ of Section 17, Township 23, ODYD located on (E OF) Paly Road, Kelowna, BC; from the Resource Protection Area and Future Urban Reserve designations to the Single / Two Unit Residential, Major Park and Open Space and Future Urban Reserve designations.
2. AND THAT Map 5.2 - **Permanent Growth Boundary** be deleted in its entirety and replaced with a new Map 5.2 - **Permanent Growth Boundary** as Schedule "A" attached to and forming part of this bylaw;
3. AND THAT Map 5.9 - **Linear Corridors/Paths** be deleted in its entirety and replaced with a new Map 5.9 - **Linear Corridors/Paths** as Schedule "B" attached to and forming part of this bylaw;
4. AND THAT Map 7.3 - **20 Year Major Road Network Plan** be deleted in its entirety and replaced with a new Map 7.3 - **20 Year Major Road Network Plan** as Schedule "C" attached to and forming part of this bylaw;
5. AND THAT Map 7.4 - **Water Supply System** be deleted in its entirety and replaced with a new Map 7.4 - **Water Supply System** as Schedule "D" attached to and forming part of this bylaw;
6. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 23rd day of June, 2014.

Considered at a Public Hearing on the

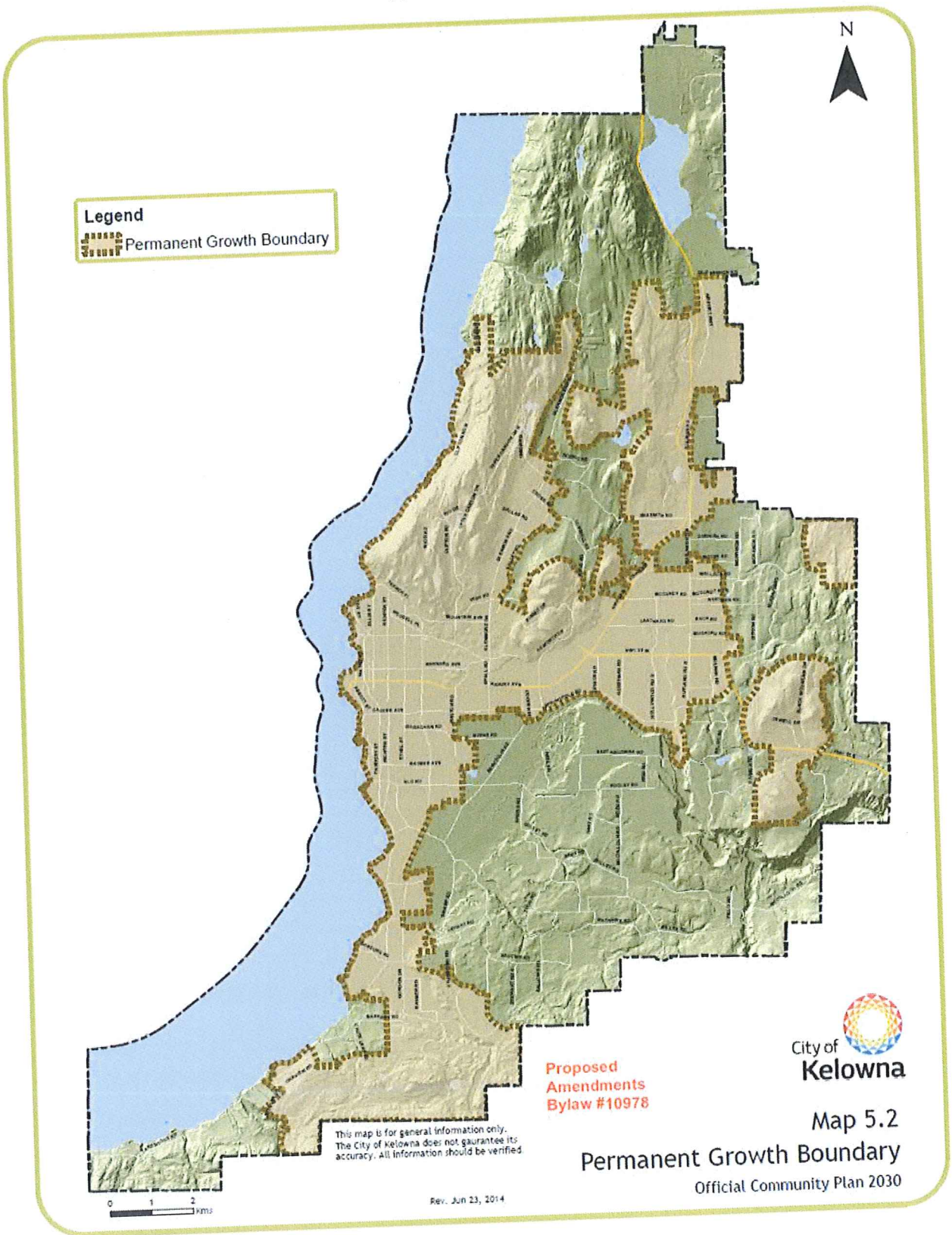
Read a second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

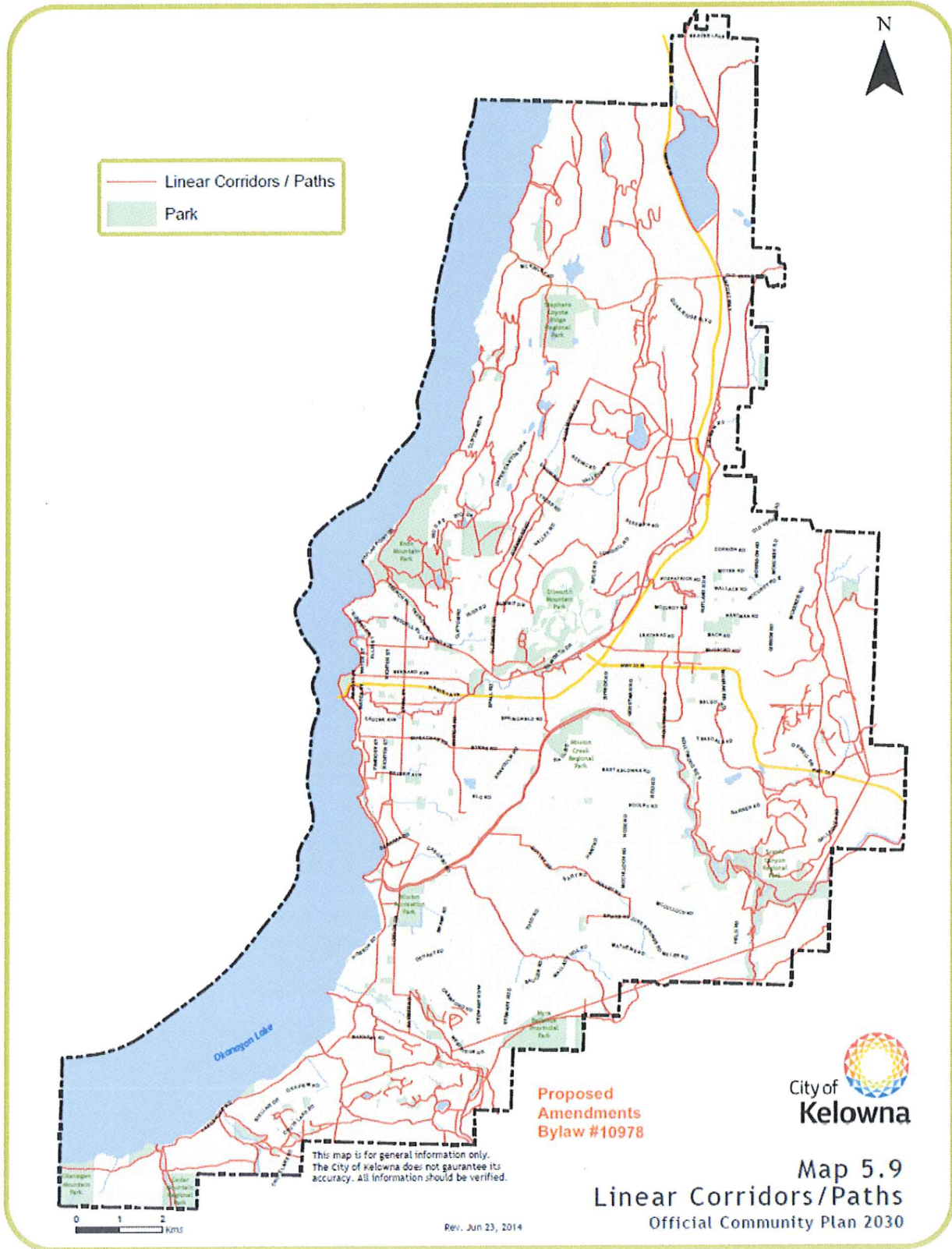
Mayor

City Clerk

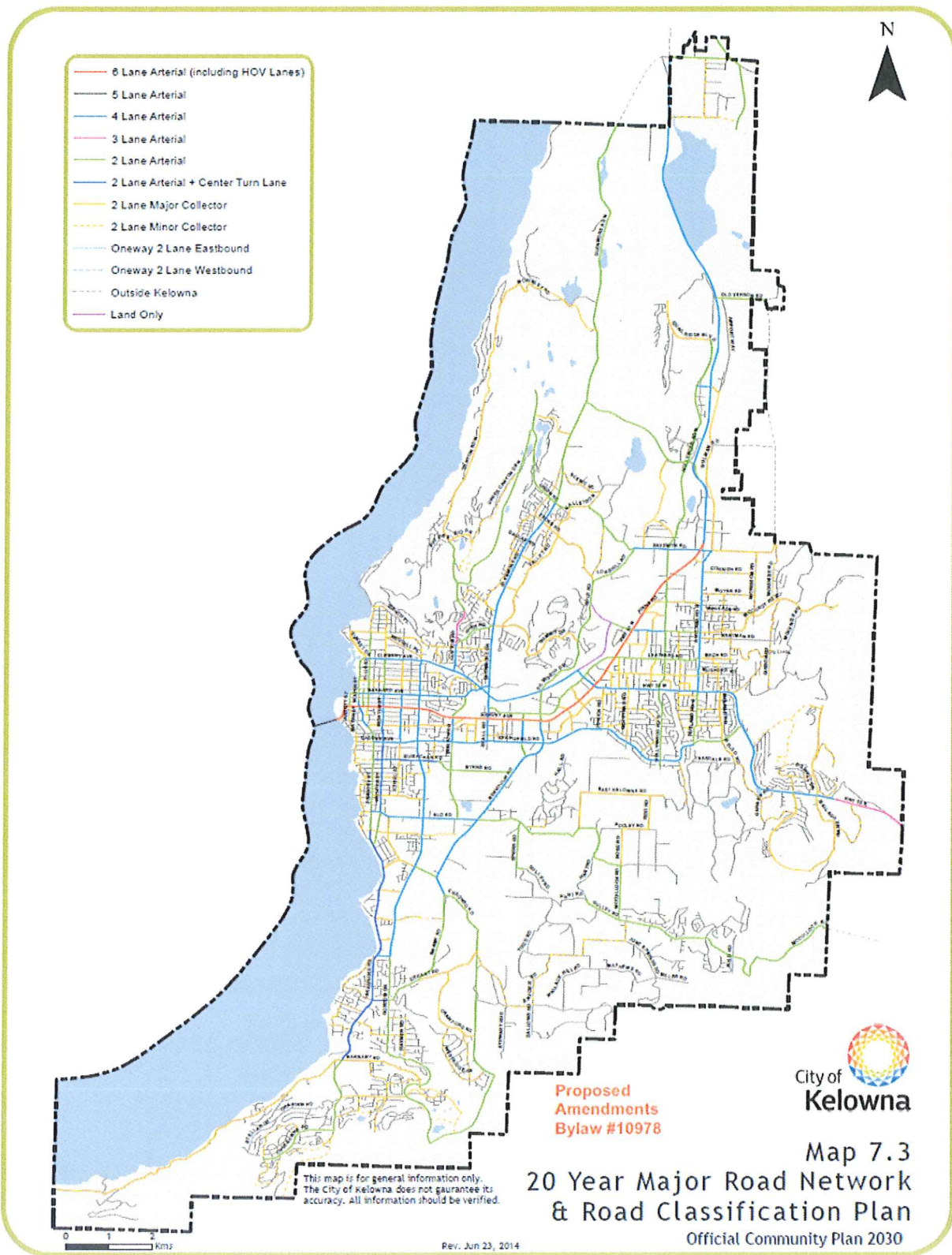
Schedule "A"



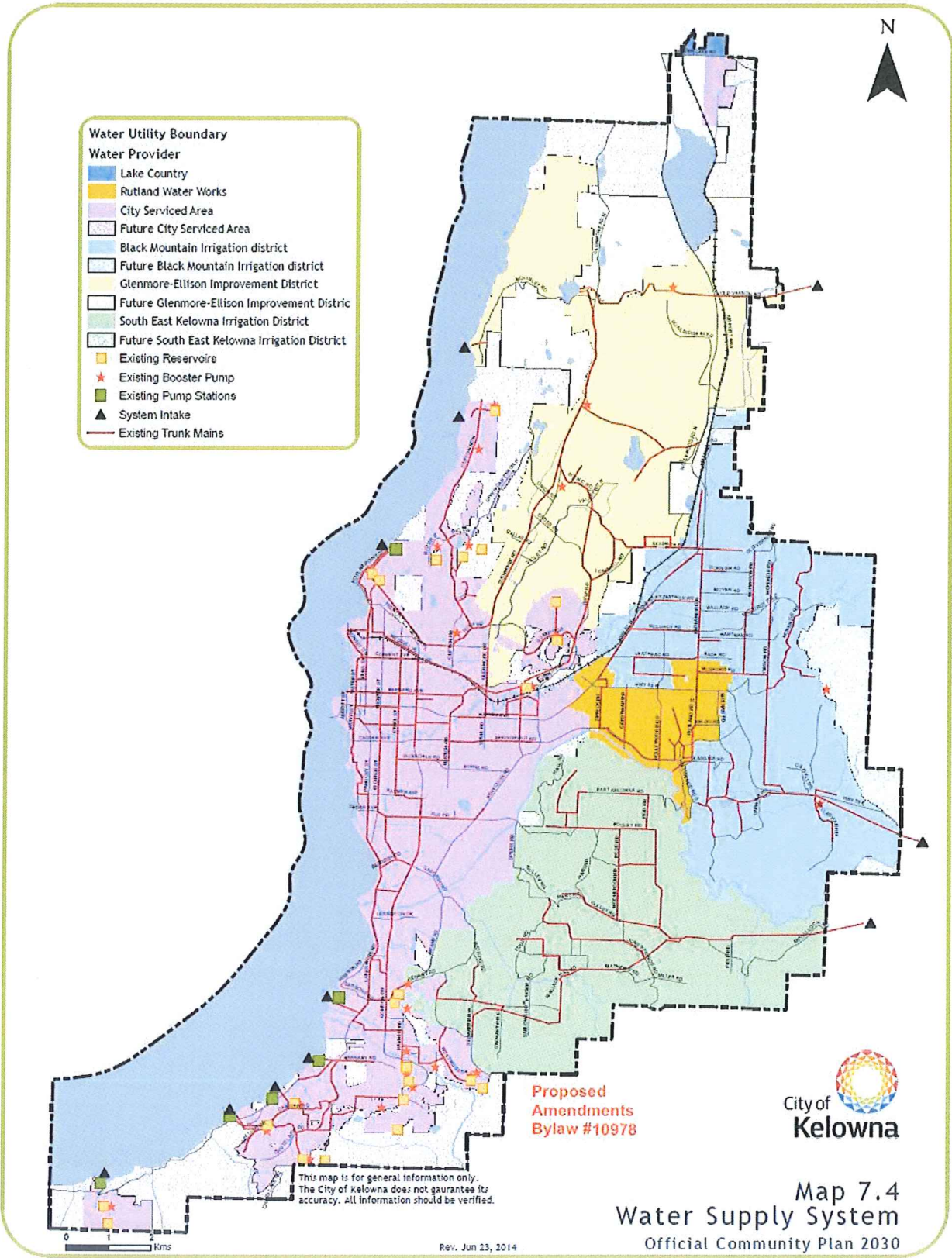
Schedule "B"



Schedule "C"



Schedule "D"



CITY OF KELOWNA

BYLAW NO. 10976

**Official Community Plan Amendment No. OCP13-0017 -
Tamdan Ventures Ltd., Inc. No. BC0862314
901-911 Stremel Road**

A bylaw to amend the "Kelowna 2030 - Official Community Plan Bylaw No. 10500".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT Map 4.1 - **GENERALIZED FUTURE LAND USE** of "Kelowna 2030 - Official Community Plan Bylaw No. 10500" be amended by changing the Generalized Future Land Use designation of portions of Lot 1, Section 34, Township 26, ODYD, Plan EPP35554 located on Stremel Road, Kelowna, B.C., from the Commercial (COMM) and Industrial (IND) designations to the Service Commercial (SC) designation as per Map "A" attached to and forming part of this bylaw;
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 23rd day of June, 2014.

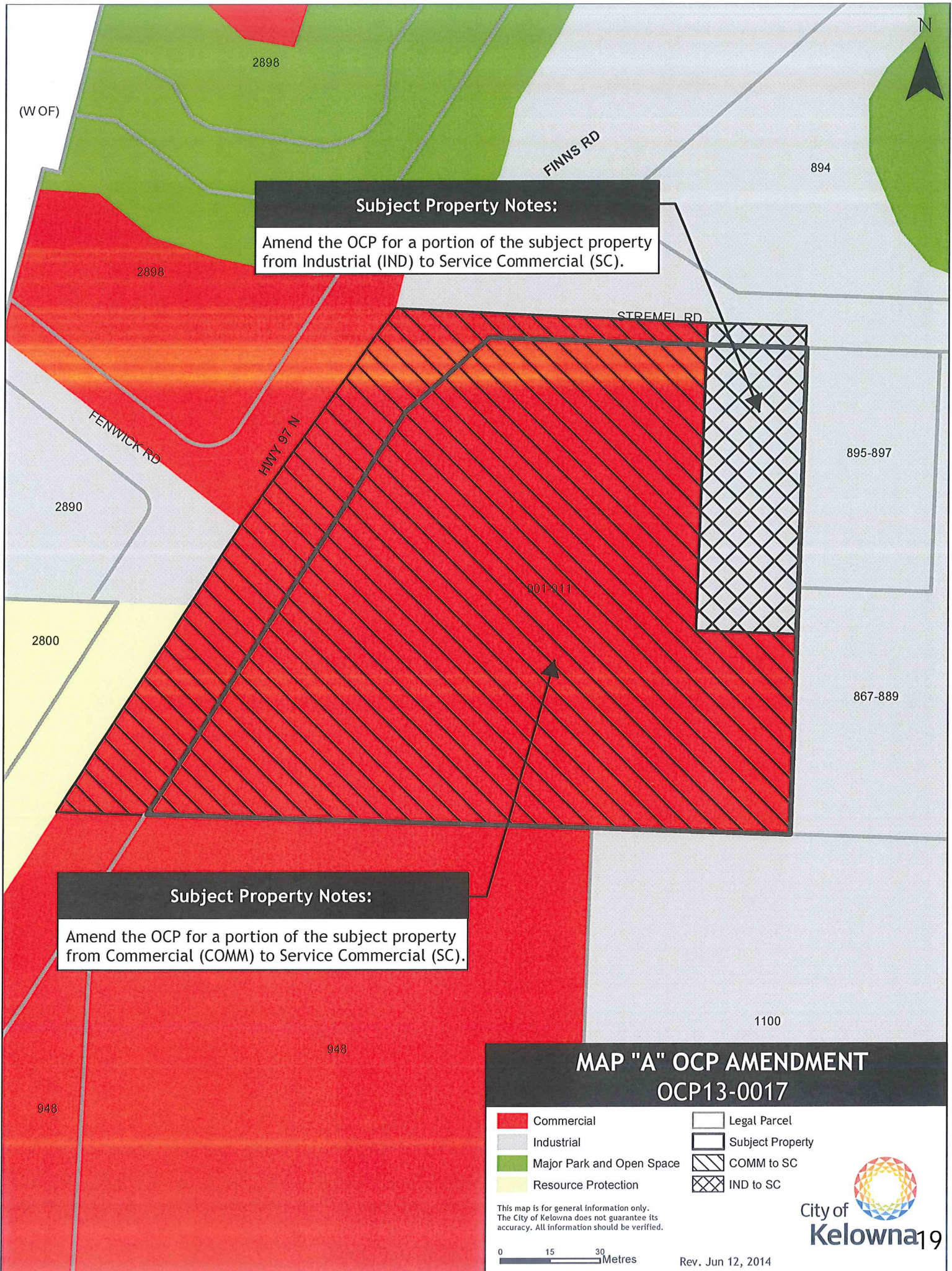
Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk



Subject Property Notes:
 Amend the OCP for a portion of the subject property from Industrial (IND) to Service Commercial (SC).

Subject Property Notes:
 Amend the OCP for a portion of the subject property from Commercial (COMM) to Service Commercial (SC).

**MAP "A" OCP AMENDMENT
 OCP13-0017**

- Commercial
- Industrial
- Major Park and Open Space
- Resource Protection
- Legal Parcel
- Subject Property
- COMM to SC
- IND to SC

This map is for general information only. The City of Kelowna does not guarantee its accuracy. All information should be verified.



0 15 30 Metres

Rev. Jun 12, 2014

CITY OF KELOWNA
BYLAW NO. 10977
Z13-0040 - Tamdan Ventures Ltd., Inc. No. BC0862314
901-911 Stremel Road

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of portions of Lot 1, Section 34, Township 26, ODYD, Plan EPP35554 located on Stremel Road, Kelowna, B.C., from the C9-Tourist Commercial zone and the I2-General Industrial zone to the C10-Service Commercial zone as per Map "B" attached to and forming part of this bylaw.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 23rd day of June, 2014.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

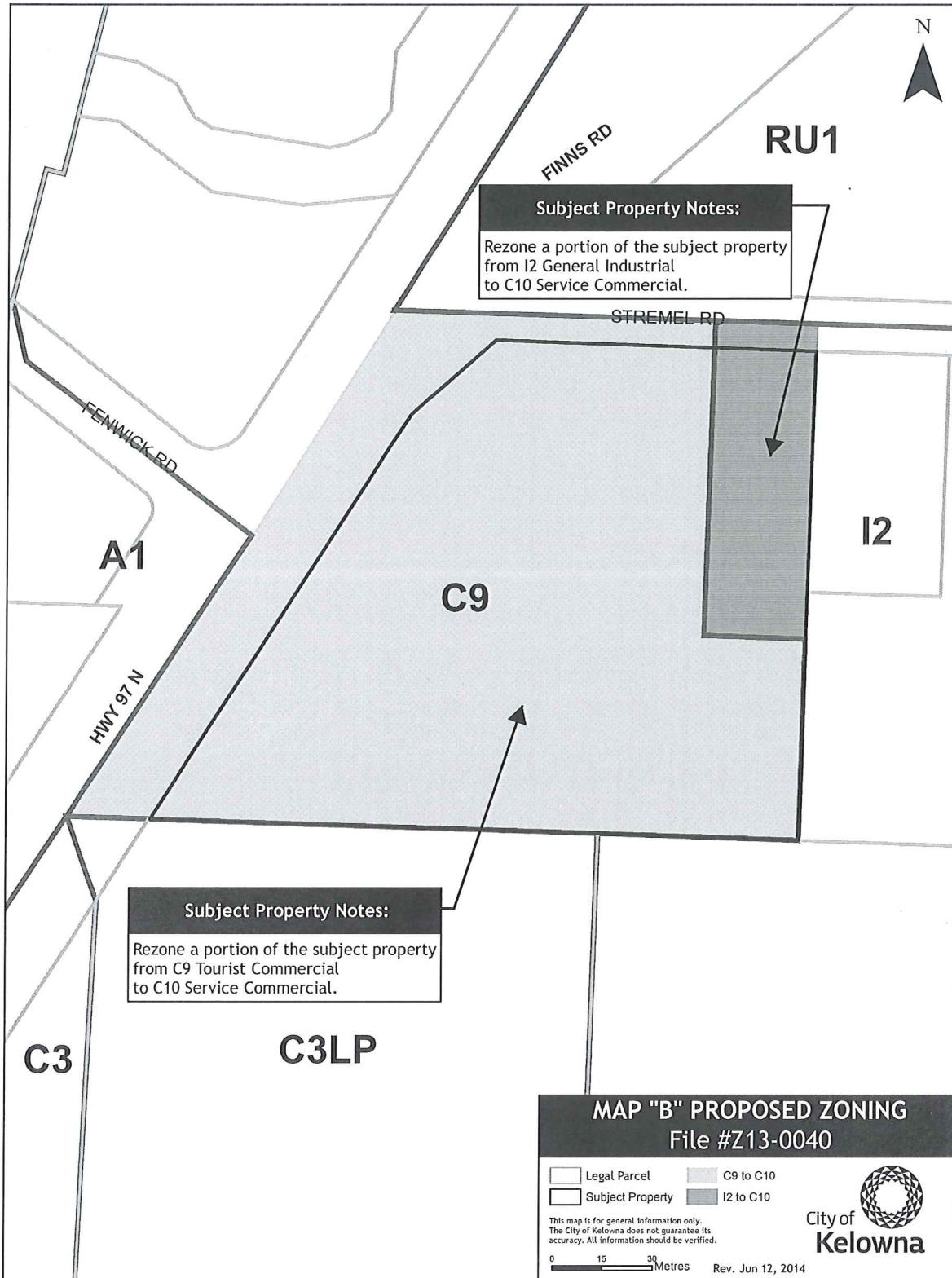
Approved under the Transportation Act

(Approving Officer-Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk



REPORT TO COUNCIL



Date: June 13, 2014
RIM No. 0930-50
To: City Manager
From: Urban Planning, Community Planning & Real Estate (PMc)
Application: LL14-0004 **Owner:** Delta Hotels No. 48 Ltd.
Address: 1346 Water Street **Applicant:** Fireweed Brewing Corporation
Subject: Liquor License application to add Manufacturer Lounge Endorsement
Existing OCP Designation: Commercial
Existing Zone: C8 - Convention Hotel Commercial

1.0 Recommendation

THAT Council directs staff to forward the following recommendation to the Provincial Liquor Control and Licensing Branch (LCLB):

In accordance with Section 53 of the Liquor Control and Licensing Regulation and Council Policy #359, be it resolved THAT:

Council’s comments on the Liquor Control & Licensing Branch (LCLB)’s prescribed considerations for the application from Fireweed Brewing Corp. at 1346 Water Street, Kelowna BC, (legally described as Lot 1, DL 139, 4041, & 4082, O.D.Y.D., Plan KAP73542) for an application to add a lounge endorsement to the brewers manufacturer license, with an interior capacity of 86 persons and a patio capacity of 86 persons, and hours of service from 11:00am-8:00pm Monday to Wednesday, from 11:00am-9:00pm Thursday to Saturday, and from 11:00am-6:00pm Sunday are as follows:

a) The potential for noise if the application is approved:
 The space was previously a food primary establishment. The change in use to a brewery with a lounge endorsement is anticipated to have a minor, incremental increase in noise from the previously existing operation.

b) The impact on the community if the application is approved:
 The potential for negative impacts is considered to be minimal.

c) View of residents.
 Council’s comments on the views of residents (if applicable) are as contained within the minutes of the meeting at which the application was considered by Council. The methods

used to gather views of residents were as per Council Policy #359 "Liquor Policy & Procedures." Licensing

d) The person capacity and hours of liquor service of the establishment:

The total person capacity proposed for the lounge endorsement is interior capacity of 86 persons with a patio capacity of 86 persons, and hours of service from 11:00am-8:00pm Monday to Wednesday, from 11:00am-9:00pm Thursday to Saturday, and from 11:00am-6:00pm Sunday.

e) Traffic and parking:

There is no anticipated increase in traffic or parking associated with this application. The previous food primary establishment was licensed for a total capacity of 163 persons, and there is no additional space or seating is being added as part of the application. Therefore the parking and traffic situation should remain unchanged.

f) The proximity of the establishment to other social or recreational facilities and public buildings:

Surrounding social or recreational facilities would not conflict with the proposed establishment.

g) Recommendation:

Council recommends that the application for the addition of a manufacture lounge endorsement to the brewers manufacturing license be approved.

2.0 Purpose

To seek Council's support for a manufacturer lounge endorsement.

3.0 Urban Planning Department

This application to add a manufacturer lounge endorsement to a manufacturer license represents the next step in the approval process for the "beer institute" currently under construction on the subject property. This license requires a Council Resolution to be provided to the Liquor Control and Licensing Branch. The resulting "Beer Institute" is consistent with the proposal put forward when the text amendment to add "breweries and distilleries" to the C8 zone was considered.

4.0 Summary

4.1 Background

In 2012, the applicant made a text amendment application (TA12-0010) to add "breweries and distilleries" as a permitted use to the C8 - Convention Hotel Commercial zone.

4.2 Proposal

In April 2014 a building permit was issued for interior tenant improvements to convert the space that had previously been used as a restaurant, into a micro-brewery and tasting area to create a "beer institute". The intent of this facility is to provide an educational experience associated with beers crafted and brewed on site, and food pairings with appropriate beers.

The proponent initiated an application for their manufacturers license to the Liquor Control and Licensing Branch in May 2013. As part of this liquor licensing application process, the applicant has made application for a Manufacturer Brewery license, which does not require a Council

resolution. However, the applicant has also made application for a Manufacturer Lounge Area endorsement license, which does require a Council resolution.

This area of the Grand Okanagan Resort was previously occupied by a Food Primary (restaurant) use, and had a comparable occupancy load number as what is being proposed for the Manufacturers Lounge Area endorsement.

As part of the building program to create the “beer institute”, a development permit will also be required to address the proposed exterior modifications associated with the interior renovations.

Proposed License Summary:

Proposed Hours of Sale:

	Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
Open	11:00am	11:00am	11:00am	11:00am	11:00am	11:00am	11:00am
Close	6:00pm	8:00pm	8:00pm	8:00pm	9:00pm	9:00pm	9:00pm

Licensed Area	Capacity
First Floor Sitting area	58 persons
First Floor merchandise area	7 persons
First Floor outdoor patio area	40 persons
Second Floor private function area	21 persons
Second Floor outdoor patio area	46 persons
Total Proposed Person Capacity	172 persons*

*The proposed capacity is based on preliminary floor plans, which are subject to approval by the Building & Permitting Branch and the LCLB.

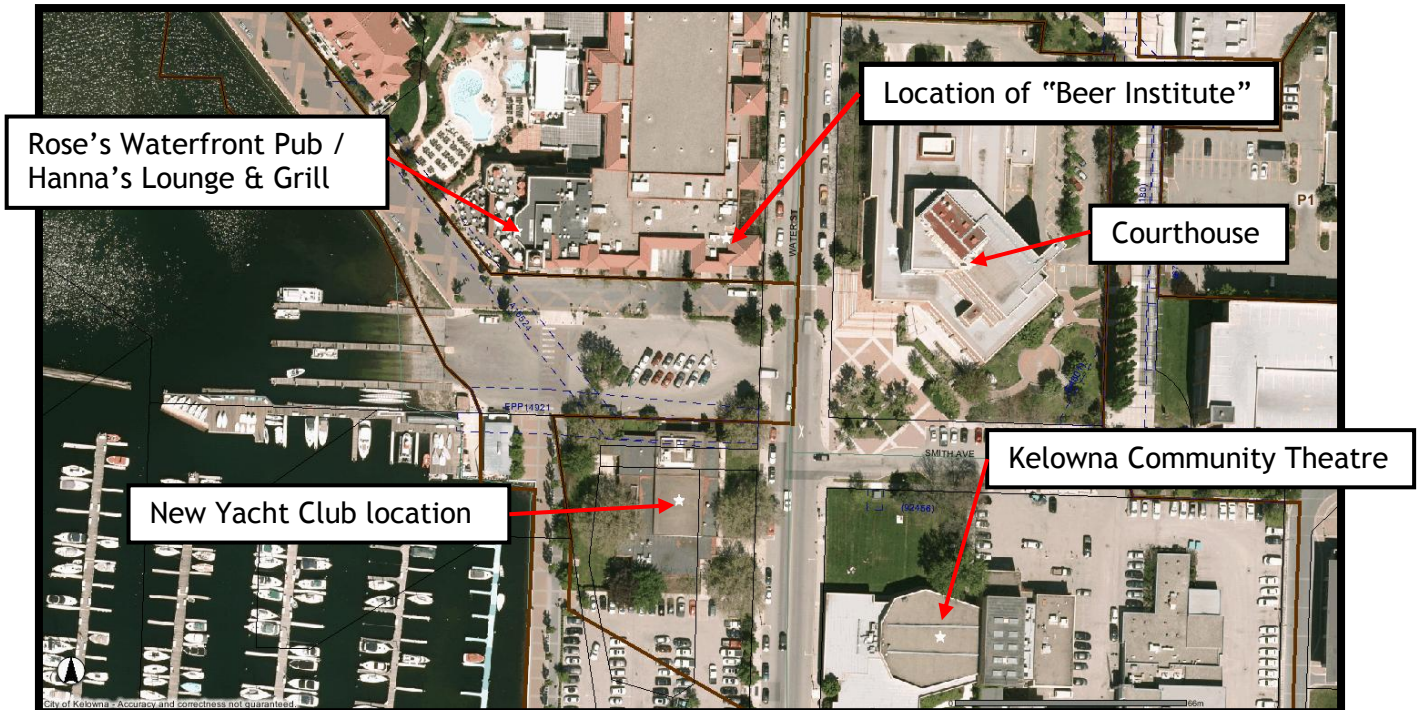
The subject property is located at the south east corner of the Grand Okanagan Resort development, adjacent to the boat launch parking lot, facing Water street.

Adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	C8 - Convention Hotel Commercial	Delta Grand Okanagan Resort
East	L1 - Major Institutional	Court House
South	P3 - Parks and Open Space	Parking lot/Boat Launch
West	P3 - Parks and Open Space	Public Walkway

4.3 Site Context

1346 Water Street



5.0 Current Development Policies

5.1 Council Policy #359 - Liquor Licensing Policy and Procedures

The following sections of Policy #359 are applicable to this application:

Where appropriate, support alternative entertainment options, and/or establishments which are less focused on alcohol consumption (including event-driven establishments, and Food Primary establishments with the Patron Participation Entertainment Endorsement) to add a mix of entertainment options in Urban Centres. Consider limiting potential community impacts via license terms and conditions (hours, capacity, etc)

5.2 Kelowna Official Community Plan (OCP)

Compact Urban Form.¹ Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

Entertainment Venues.² Within designated Urban Centres, encourage private-sector provision of facilities which diversify the selection of venues and entertainment opportunities throughout the city.

¹ Policy 5.3.2 (Development Process Chapter)

² Policy 5.17.1 (Development Process Chapter 5, page 5.21)

6.0 Technical Comments

6.1 Building & Permitting Department

No comment.

6.2 Bylaw Services

No comments received.

6.3 Fire Department

The secondary exit (north) off of the upstairs outdoor patio exits into the kitchen of the Delta Grand and cannot be considered an exit. The occupancy load for the entire upstairs shall be kept to under 60 people. (to be addressed through building permit)

6.4 Interior Health Authority

No comments.

6.5 R.C.M.P. _ Liquor License

No comments received.

6.6 Real Estate & Building Services Manager

No comment.

7.0 Application Chronology

Date of Application Received: April 11, 2014

Report prepared by:

Paul McVey, Urban Planner

Reviewed by:

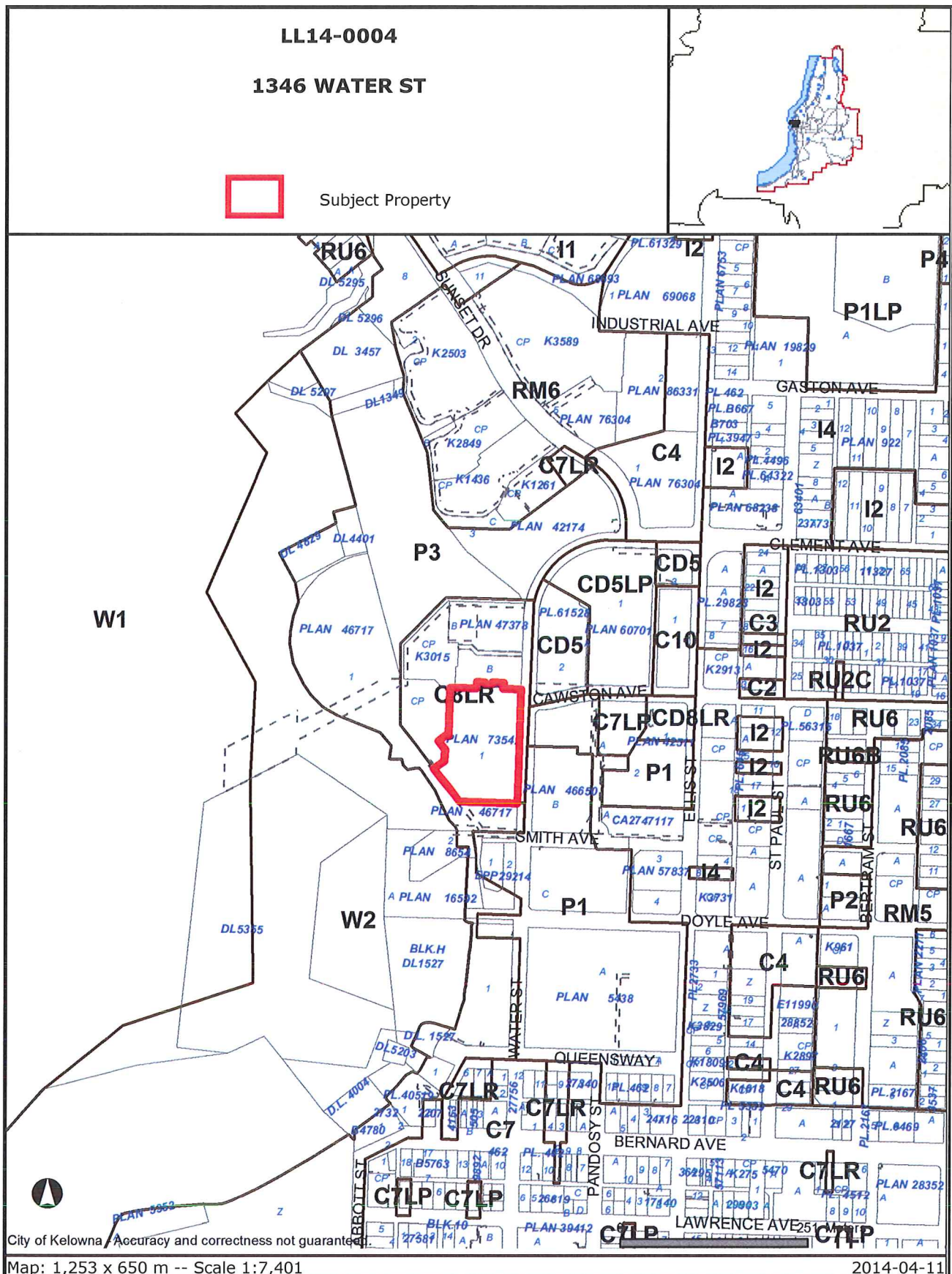
Lindsey Ganczar, Urban Planning Supervisor

Approved for Inclusion:

Ryan Smith, Urban Planning Manager

Attachments:

- Subject Property Map
- Applicant Rationale Document
- Provisional Floor Plans
- LCLB Application for Lounge endorsement



Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only.
The City of Kelowna does not guarantee its accuracy. All information should be verified.



Manufacturer Lounge and/or Special Event Areas Endorsement Licence Application

Liquor Control and Licensing Form LCLB049a

Instructions:

To apply, please complete all applicable fields then submit with payment as outlined in Part 7 of this form. You may complete this form online, then print. If you are completing this form by hand, please print clearly using dark ink.

- If you have any questions about completing this application, call the branch toll-free at 1-866-209-2111
- LCLB forms and supporting materials referred to in this document can be found at: www.pssg.gov.bc.ca/lclb

PART 1: Type of Application

Please check (☑) the applicable boxes below to indicate the type of application(s) you are submitting.

1. Lounge Endorsement:

office use only

Sub Job: (LP Flow) 21195716-2

Application Fee: \$330.00; Annual Fee: \$330.00 (prorated first year to March 31)

A lounge is an indoor and/or patio area within or immediately adjacent to a licensed manufacturing facility where patrons may purchase and consume manufactured product. Food and non-alcoholic beverages must be available at reasonable prices to customers. Hours of service, capacity and patios are subject to local government/First Nation comment and LCLB approval. Lounge endorsements are subject to annual fees as show on the manufacturer's licence renewal form each year.

• Complete this application form and provide all documents requested in Part 5.

2. Special Event Area Endorsement:

office use only

Sub Job: (LP Flow)

Application Fee: \$110.00 if you already have an approved lounge endorsement area.

Application Fee: \$330.00 if you do not have an approved lounge endorsement area.

Annual Fee: \$110.00 (prorated first year to March 31)

Note: If you are applying for both lounge and special event area endorsements at the same time with this form you pay the \$110 special event area fee for a total of \$440 for both lounge and special event area endorsements.

A special event area is an indoor and/or outdoor area on the manufacturing site where patrons may purchase and consume manufactured product during special events such as concerts, special meals/dinners or weddings. Special event areas are event-driven only. Food and non-alcoholic beverages must be available at reasonable prices to customers. Hours of sale are subject to local government/First Nation comment and LCLB approval. Special event area endorsements are subject to annual fees which will appear on the manufacturer's licence renewal form each year.

• Complete this application form and provide all documents requested in Part 5.

NOTE - when relocating a manufacturing facility: Endorsements for lounges or special event areas cannot transfer location without local government/First Nation comment and LCLB approval. This is required because the local government/First Nation must be provided an opportunity to reconsider the impact of the endorsement on the community given the new location. Use this form to reapply but do not pay the application fee(s).

Are you submitting an application to transfer the location of the manufacturing facility with this application? Yes No

If Yes, your relocation application may go forward and be approved while waiting for these endorsements to be considered. In such cases, the manufacturing facility may operate at the new location if approved, while the endorsement application(s) are being processed.

PART 2: Licensee Information

Manufacturer Licence #: _____

Manufacturer Name: _____

Manufacturer Address:

1346 Water Street Kelowna BC V1Y 9P3
Street City Province Postal Code

Licensee Name (as shown on liquor licence): _____

Contact Name: Tod Melnyk Title/Position: President / CEO

Phone: 250 717 1091 ext 208 Fax: 250 717 1519 Email: tod@treebeer.com

Mailing Address (if different from above):

1083 Richter Street Kelowna BC V1Y 2K6
Street City Province Postal Code

PART 3: Endorsement Information

For all endorsement requests: Does current zoning permit the sale and consumption of liquor in a lounge or special event area?

Yes No - rezoning is required

1. Lounge Endorsement

Legal description of endorsement site:

(Legal description and parcel identifier (PID) or Strata Plan number of the endorsement site if located on separate legal parcel than manufacturing site. It is on the property tax notice or can be obtained from the Land Titles office.)

Local government or First Nation: Kelowna

Proposed interior capacity:

Area 1	Area 2	Area 3	Area 4
94			

Proposed patio capacity:

Patio 1	Patio 2	Patio 3	Patio 4
88			

 (occupant load is required on the floor plan you provide)

Note: The person capacity (patrons plus staff) of a licensed area(s) must equal the occupant load. Capacity must be approved by LCLB and is subject to local government/First Nation comment. (See Part 8 for an explanation of the application process.) See Part 5, #5 of this application for floor plan occupant load requirements.

Note: The ALR regulation may restrict the size of a lounge and/or patio lounge area. If you are located on ALR land, applicants must verify that their proposed lounge area does not exceed the limit prior to submitting an application.

1. Describe the intended use of the patio (e.g., if entertainment or games will take place on the patio):

- See attached presentation / marketing plan

2. Describe the perimeter that will control entry and exit (e.g. fencing, planters, hedges):

- Patio #1 (lower) - Aluminum / rod iron fencing
 - Patio #2 (upper) - concrete wall / rod iron
 - Access to both patios are from the interior only

3. Describe floor composition (e.g., grass, gravel, flooring):

- Patio #1 - interlocking brick
 - Patio #2 - cement blocks

4. Describe how your staff will manage and control the patio from the interior licensed area

- Full-time floor staff will monitor the patio
 - Patio #2 is adjacent to the private tasting room and therefore will be primarily used for private functions

5. Attach a photo if the patio is already built.

Proposed hours of sale for the Lounge Endorsement

Complete the table below by entering the opening and closing times proposed for the establishment. Hours requested must fall between 9:00 a.m. and 4:00 a.m. of each business day. All hours requested will be reviewed by your local government/First Nation council before they are approved by the Liquor Control and Licensing Branch.

	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
OPEN	11	11	11	11	11	11	11
CLOSE	8	8	8	9	9	9	6

2. Special Event Area Endorsement

Legal description of endorsement site: _____
 (Legal description and parcel identifier (PID) or Strata Plan number of the endorsement site if located on separate legal parcel than manufacturing site. It is on the property tax notice or can be obtained from the Land Titles office.)

Local government or First Nation: _____

Proposed interior capacity: _____ (occupant load required on the floor plans you provide for interior area(s) and outdoor patio(s) only)

Proposed patio capacity: _____

Note: the person capacity of a licensed area(s) must equal the occupant load.

Proposed hours of sale for your Special Event Area Endorsement

Complete the table below by entering the opening and closing times proposed for the establishment. Hours requested must fall between 9:00 a.m. and 4:00 a.m. of each business day. All hours requested will be reviewed by your local government/First Nation council before they are approved by the Liquor Control and Licensing Branch.

	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
OPEN	_____	_____	_____	_____	_____	_____	_____
CLOSE	_____	_____	_____	_____	_____	_____	_____

PART 4: Letter of Intent (Functions and Services to be Provided)

Explain the functions and services your facility or venue will provide. The information you provide must address all relevant items indicated under each section. If additional space is required, or if you would like to provide a more broad description of your proposal, please attach as a separate sheet and check the box below.

I have attached a separate sheet.

1. Purpose

Describe the purpose of the endorsement including beverage service, entertainment and hospitality services you intend to provide:

- See attached presentation

2. Target Market. Your proposed endorsement area will serve mainly (check all that apply):

Urban locals Suburban locals Rural locals Neighbouring communities Tourists

Other (please specify): _____

3. Composition of the Neighbourhood. The composition of the neighbourhood is best characterized as (check all that apply):

Commercial Residential Industrial Light Industrial Urban Downtown Suburban

Rural Agricultural Land Reserve (ALR) First Nations' Land

Other (please specify): _____

4. Provide a street map of the area surrounding the manufacturing site which identifies the following social and public facilities within a reasonable distance* (see below):
- All other licensed liquor primary or liquor primary club establishments
 - Churches
 - Clubs
 - Schools (K-12, colleges, universities)
 - Preschools
 - Day care centres
 - Health care facilities
 - Seniors facilities
 - Recreational/sports facilities
 - Police stations
 - Fire halls
 - Libraries
 - Government buildings
 - Any other relevant local public or private facilities

*Note: What constitutes a reasonable distance will vary depending on individual circumstances.

Reasonable Distance Guidelines:

- In a densely populated city or municipality, reasonable distance is probably a 2 block radius;
- In a pocket community having no adjacent developed regional areas (e.g. Gold River, Tumbler Ridge, Whistler, Valemont) reasonable distance is probably the whole community;
- In a rural area having large acre parcels, reasonable distance is probably up to 8 km (five miles);
- In a moderately populated area of developed subdivisions, suburbs, reasonable distance is probably 1.5 or 2 km (1 mile).

On the same map, please mark the boundaries of the neighbourhood of the proposed location as per the reasonable distance guidelines above. State what distance measure you chose and explain your reasoning.

5. Benefits to the Community

Briefly describe the community/market need you are addressing by providing an additional licensed area within the community (e.g. the proposed lounge will support tourism activities at the manufacturing facility OR there are currently no licensed establishments in the area).

- See attached presentation

6. Impact of Noise on the Surrounding Community

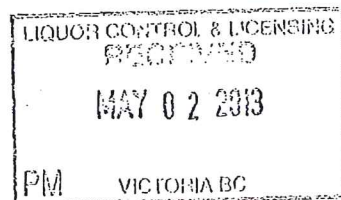
Briefly describe the noise impact expected from your proposed endorsement area and describe the measures you will take to ensure others are not disturbed if the endorsement area is approved (e.g. entertainment will not involve amplified music given the bylaws in place; noise from outdoor patio will be addressed by closing patio at 10 p.m.; outdoor lighting and cameras will be installed; additional traffic should not create additional noise given the location and size of the endorsement).

- Minimal impact to surrounding community as proposed property is connected to Delta Hotel / Convention Centre and adjacent to Kelowna Yacht club
- Hours of operation will limit noise

7. Other Impacts on the Surrounding Community

Briefly describe any further impacts of the new licensed area(s) on the surrounding community if the endorsement application is approved.

- None



8. Other Information and Requests

Provide any additional information or requests that might be relevant to your manufacturer endorsement application (such as zoning restrictions, bylaw restrictions, entertainment, etc.)

Mayor / City Councillors / Public fully support the Brewery / Lounge as evidenced by recent re-zoning approval

PART 5: Required Documents

To be considered a "complete application" the following documents must be provided:

- 1. Completed *Application for a Manufacturer Licence Endorsement (lounge and/or special event areas)* (LCLB049a).
- 2. Application fee. See Part 7.
- 3. A large (11" x 17" preferred) official map of the city, municipality, regional district or First Nation property with the proposed site clearly marked. Identify (by location and address) nearby social facilities, other licensed facilities (including other manufacturers with these endorsements), residential and industrial areas, churches, schools and parks.
- 4. (a) A detailed site plan of the manufacturing site (11" x 17" preferred) showing the proposed endorsement area(s). Clearly detail exact dimensions of the endorsement area, as well as access/egress, driveways, vineyards or crops and other buildings on the manufacturing site.
(b) If there are other businesses operating and/or leasing space on the proposed manufacturing site, please identify the building(s) on the site plan and provide details regarding the businesses.
- 5. A large (11" x 17" preferred) scaled floor plan with detailed furniture layout of the proposed interior endorsement area(s) and outdoor patios and the occupant load marked/stamped ON the plan by provincial fire or building authorities (or designate). An alternate qualified professional may only be used in locations where fire and building authorities have opted not to provide an occupant load and written authorization has been provided.
- 6. Preliminary concept drawings and photos showing the location and the appearance of the proposed endorsement area(s) relative to the manufacturing facility. You are cautioned not to construct or build until you are granted Branch approval to do so.
- 7. A sketch of all proposed exterior signs only if you are making changes to your current approved signage. Signs are subject to LCLB approval.
 No signage changes proposed at this time.

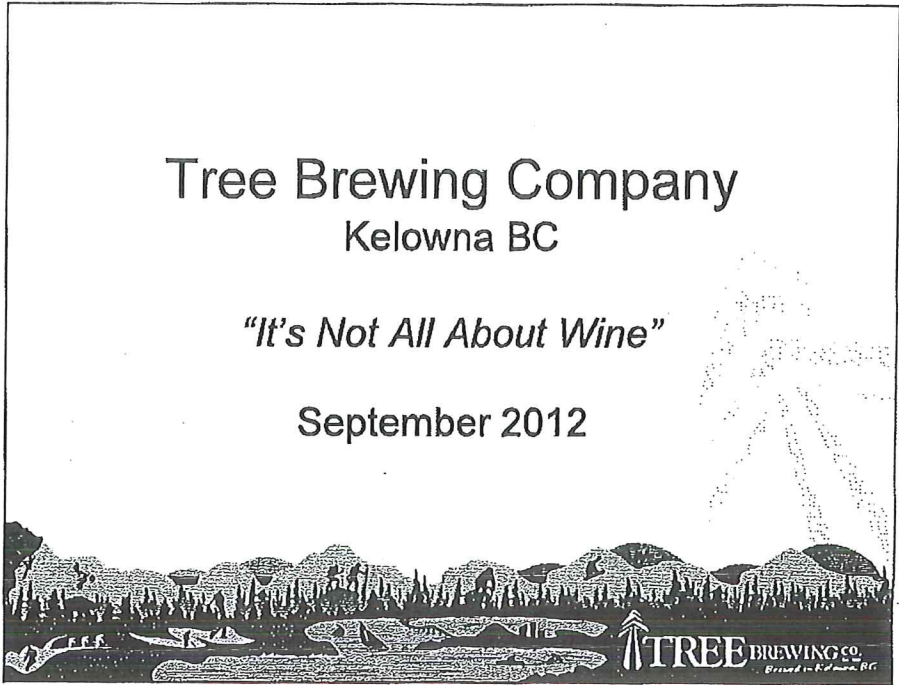
NOTE: Local government zoning must permit the sale and service of manufactured product in the area(s) proposed for licensing. If the proposed site is within the Agricultural Land Reserve (ALR), ensure that you confirm that the intended use of the site and size of the proposed endorsement area meets statutory and policy provisions for land use in the ALR. For more information, contact the Commission office at (604) 660-7000 or visit the Agricultural Land Commission web site: www.alc.gov.bc.ca.



Tree Brewing Company
Kelowna BC

"It's Not All About Wine"

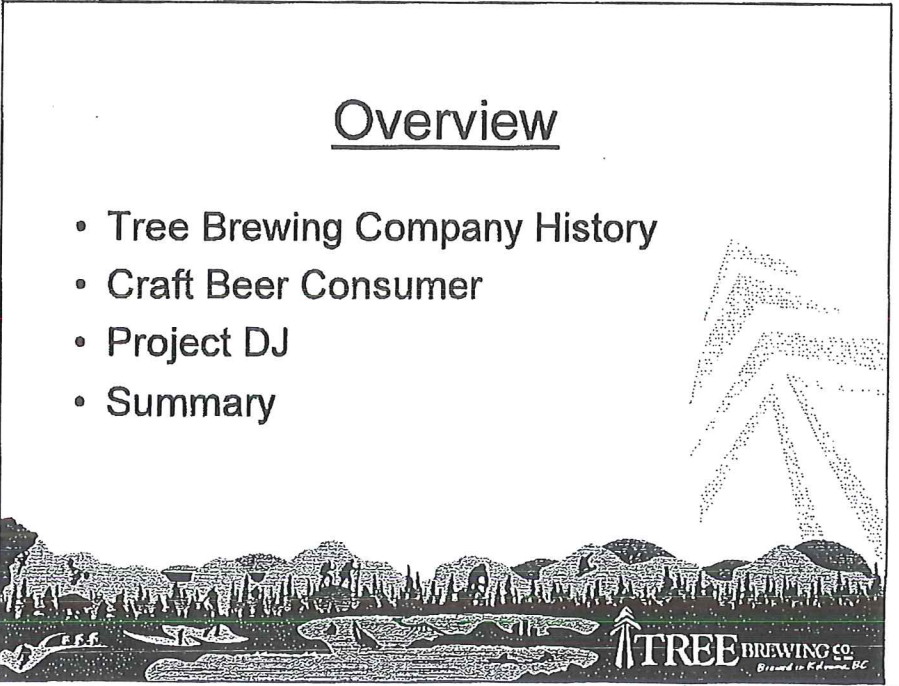
September 2012



TREE BREWING CO.
Brewed in Kelowna, BC

Overview

- Tree Brewing Company History
- Craft Beer Consumer
- Project DJ
- Summary



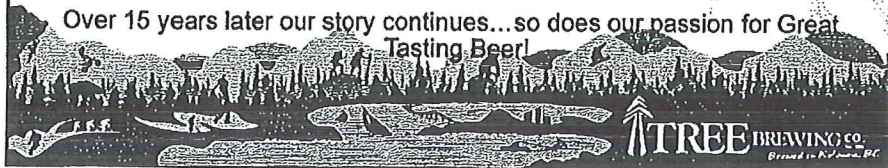
TREE BREWING CO.
Brewed in Kelowna, BC

LIQUOR CONTROL & LICENSING
B.C. (L.C.E.)
MAY 02 2013
PM VICTORIA BC

Tree Brewing Co. - History

Our story began in 1996...to share our passion for Great Tasting Beer...

- Tree Brewing is an award winning Craft Brewery. Each of our beers are handcrafted in our Boutique Brewery, located in beautiful Kelowna, British Columbia.
- Our German trained Brew Master uses only the finest Malt, Hops, Yeast and Water to produce our un-pasteurized beer.
- We produce 8 different brands/ styles of beer satisfying the taste buds of the discriminating craft beer consumer.
- We actively support the community from which we live, work and play, from sponsorships and charitable donations



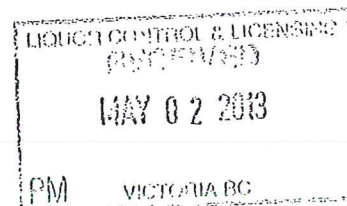
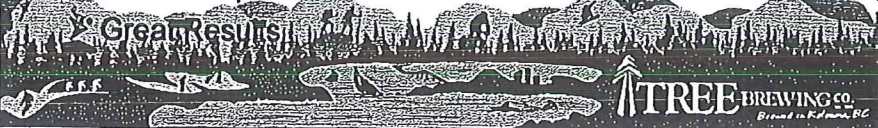
Tree Brewing Co. - Today

Mission:

- To build and grow Tree Brewing Company into a great craft beer company. We will delight craft consumers with our award winning, flavourful, handcrafted all natural beers. Customers will be won, one at time ...while we don't take ourselves seriously, we take what we do very seriously

A great craft brewery is defined by:

- Great Brands
- Great People



5/1/13

Tree Brewing Is Distributed In 5 Provinces

British Columbia
Alberta
Saskatchewan
Manitoba
Ontario

TREE BREWING CO.
Brewed in Victoria, BC

Craft Beer...

TREE BREWING CO.
Brewed in Victoria, BC

LIQUOR CONTROL & LICENSING
RECEIVED
MAY 02 2013
PM VICTORIA BC 3

Craft Beer...A Growing Segment

- Craft beer is the fastest growing segment in North America
 >12% annual growth rate

- Consumers are looking for new beer experience

- Unique / high quality brews
- Fresh, natural, unpasteurized
- Local products
- Innovative Beer styles / types

Tree's consumer
Is a natural fit
For the Delta Brand

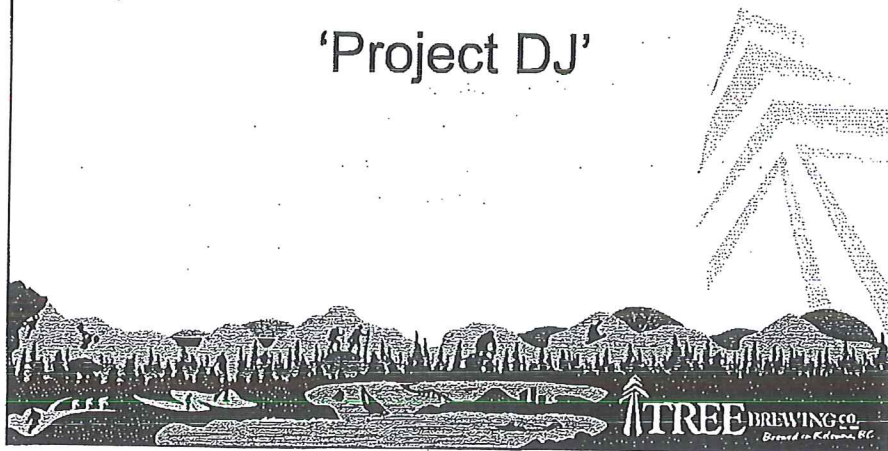
- Consumers willing to pay more for high quality craft beers

- Educated

• 29 years of age to 55 years of age

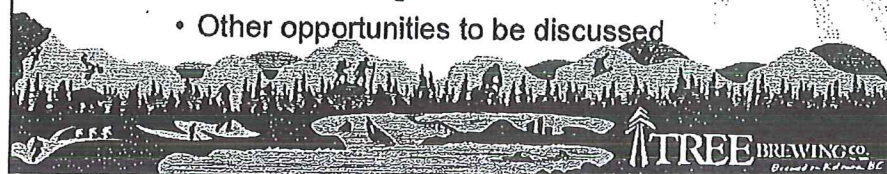


'Project DJ'



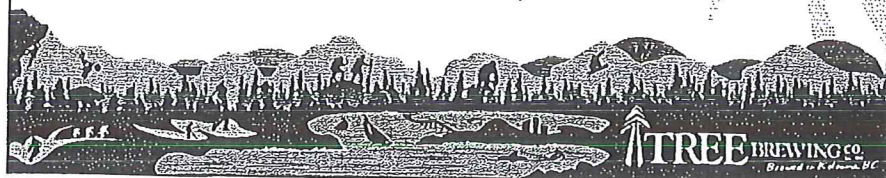
Tree Brewing Co. and Delta Hotels

- Cross promotion opportunities between brands...
 - Retail – Case inserts, Branded trip giveaway
 - Brew-master dinner featuring Delta Hotel Chef(s)
 - Leverage beer institute as unique experience for Delta hotel guests
 - Other opportunities to be discussed



Economic Impact

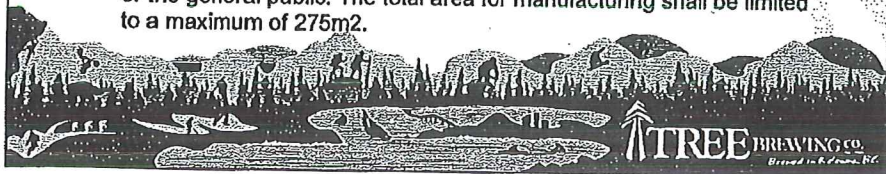
- Capital improvements - \$300,000 - \$400,000
- Job creation – minimum 10
- Unique tourism destination for Kelowna
 - First in British Columbia
 - Expand Wine, Ale and Spirit Trail



Text Amendment Change

Zone Change:

- In order for Tree Brewing to apply for a second brewery manufacturing license, The Delta property (zoned C8) would need to apply for an amendment to add the 'minor' use category to the zone
- BREWERIES AND DISTILLERIES, MINOR means the brewing or distilling of alcoholic beverages or alcoholic products with alcoholic content exceeding 1% by volume. This production must be licensed by the Liquor Control and Licensing Act. The public tasting and retail sale of alcoholic product is limited to that which is produced on-site. All processes, functions and mechanical equipment associated with the use must be contained indoors, and are limited to production activities which are not deemed to be noxious or offensive to adjacent properties or the general public. The total area for manufacturing shall be limited to a maximum of 275m².

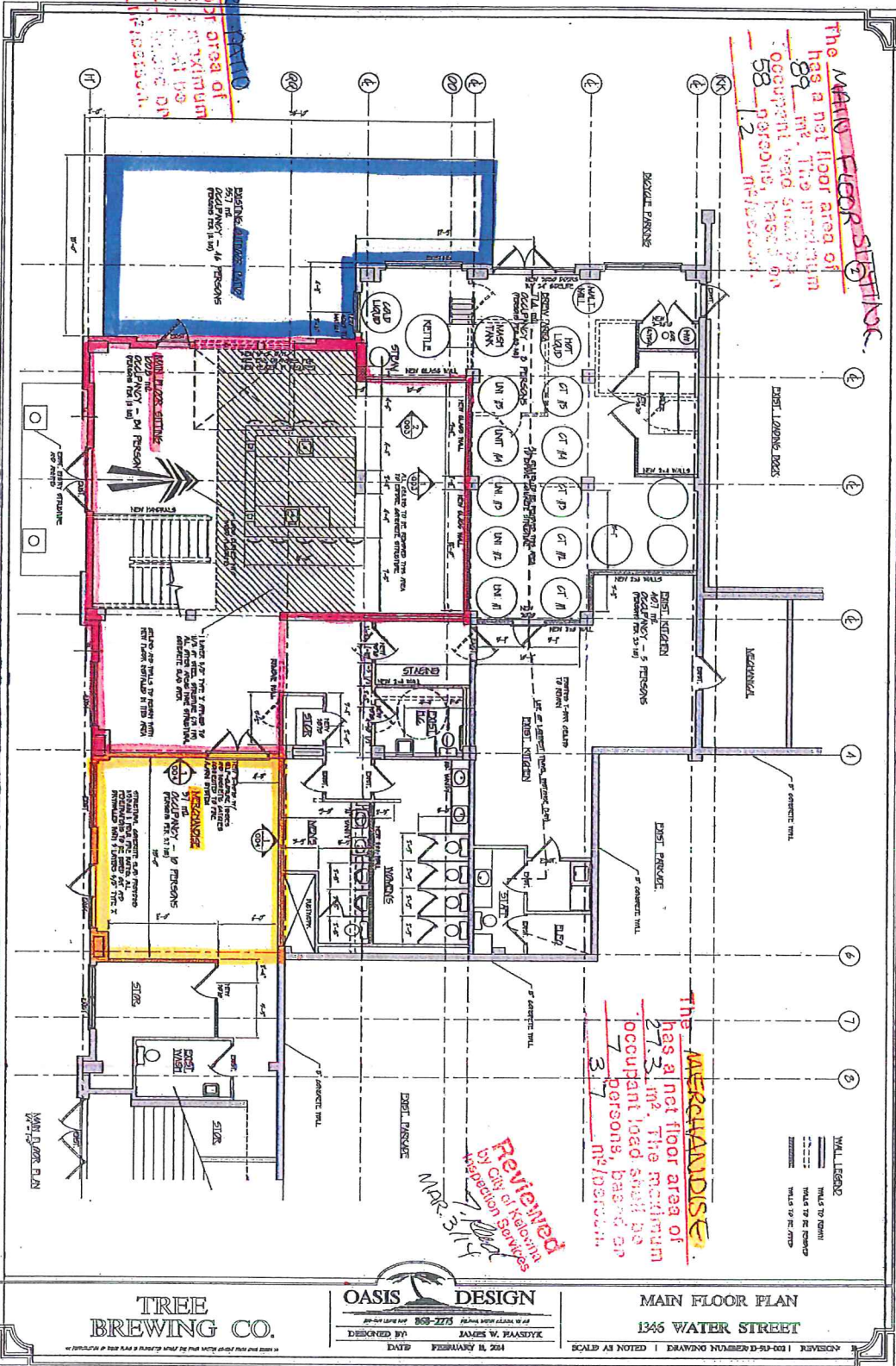


Summary

- Project DJ is a marketing extension to the Tree trademark in our home market
- Project DJ will be a unique concept / experience for Kelowna residents and visitors
- Project DJ is a great brand fit with the Delta Property
- Project DJ has strong financial backing



* PROVISIONAL *
(NOT SITE CONFIRMED)



TREE BREWING CO.

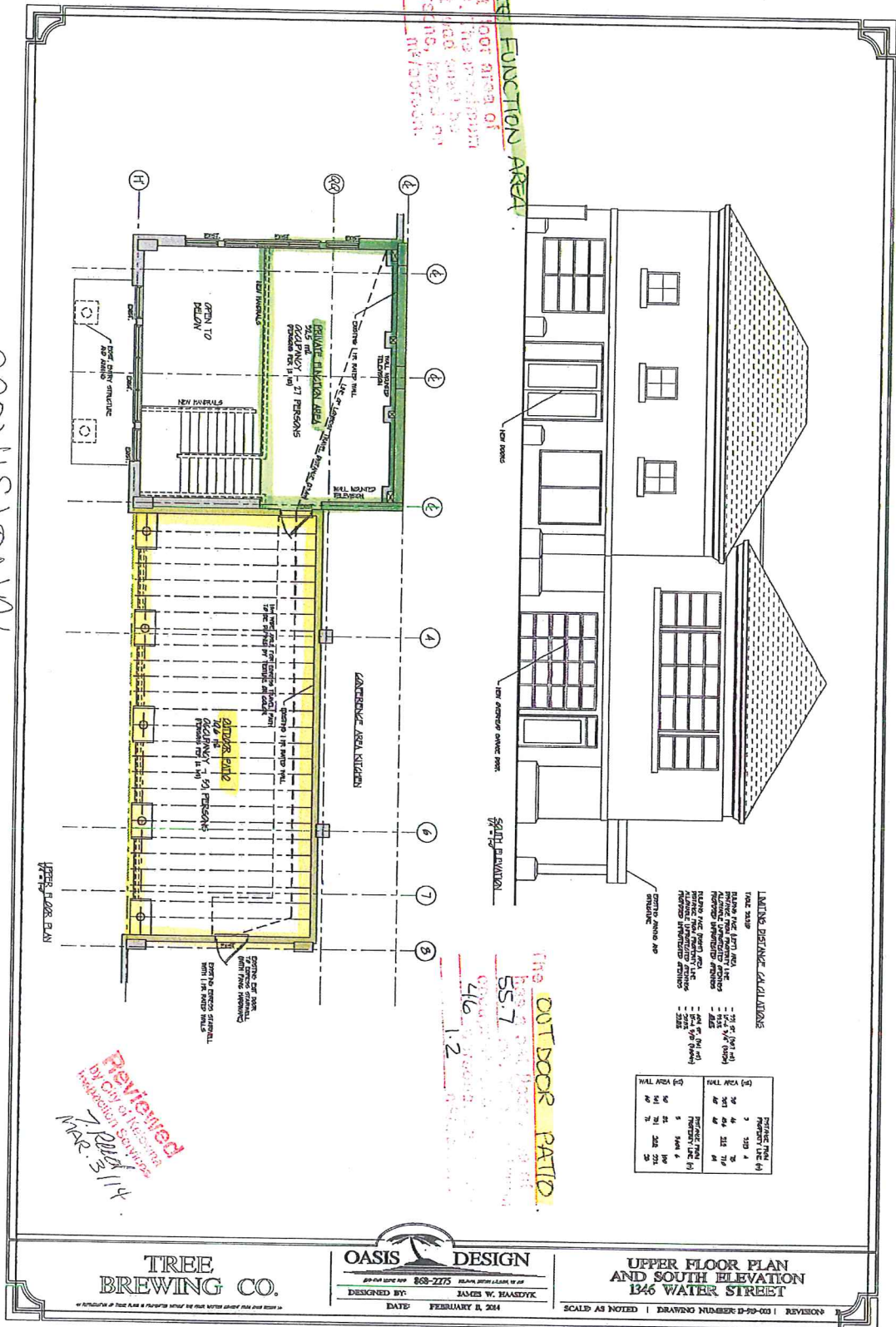
OASIS DESIGN
DESIGNED BY: JAMES W. PAASDYK
DATE: FEBRUARY 11, 2014

MAIN FLOOR PLAN
1346 WATER STREET

SCALE AS NOTED | DRAWING NUMBER D-50-001 | REVISIONS

The PRIVATE FOOT AREA of
 has a net area of 25.8 sq. ft.
 and should be occupied by 21 persons.
 1.2

PROVISIONAL (NOT SITE CONFIRMED)



LINEAR DISTANCE CALCULATIONS

TOTAL STAIR

BASELINE TO 1ST FLOOR

BASELINE TO 2ND FLOOR

BASELINE TO 3RD FLOOR

BASELINE TO 4TH FLOOR

BASELINE TO 5TH FLOOR

BASELINE TO 6TH FLOOR

BASELINE TO 7TH FLOOR

BASELINE TO 8TH FLOOR

BASELINE TO 9TH FLOOR

BASELINE TO 10TH FLOOR

BASELINE TO 11TH FLOOR

BASELINE TO 12TH FLOOR

BASELINE TO 13TH FLOOR

BASELINE TO 14TH FLOOR

BASELINE TO 15TH FLOOR

BASELINE TO 16TH FLOOR

BASELINE TO 17TH FLOOR

BASELINE TO 18TH FLOOR

BASELINE TO 19TH FLOOR

BASELINE TO 20TH FLOOR

BASELINE TO 21ST FLOOR

BASELINE TO 22ND FLOOR

BASELINE TO 23RD FLOOR

BASELINE TO 24TH FLOOR

BASELINE TO 25TH FLOOR

BASELINE TO 26TH FLOOR

BASELINE TO 27TH FLOOR

BASELINE TO 28TH FLOOR

BASELINE TO 29TH FLOOR

BASELINE TO 30TH FLOOR

BASELINE TO 31ST FLOOR

BASELINE TO 32ND FLOOR

BASELINE TO 33RD FLOOR

BASELINE TO 34TH FLOOR

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BASELINE TO 97TH FLOOR

BASELINE TO 98TH FLOOR

BASELINE TO 99TH FLOOR

BASELINE TO 100TH FLOOR

The OUTDOOR PATIO
 has a net area of 416 sq. ft.
 and should be occupied by 21 persons.
 1.2

Reviewed
 by City of Kelowna
 1/20/14
 MAR 23 11/14

TREE BREWING CO.

OASIS DESIGN
 868-2275
 DESIGNED BY: JAMES W. HASEDYK
 DATE: FEBRUARY 8, 2014

UPPER FLOOR PLAN AND SOUTH ELEVATION
 1946 WATER STREET

SCALE AS NOTED | DRAWING NUMBER: D-20-00 | REVISION

REPORT TO COUNCIL



Date: June 17, 2014

RIM No. 0930-50

To: City Manager

From: Urban Planning, Community Planning and Real Estate (PMc)

Application: LL13-0013 **Owner:** Canrim Packaging Ltd.

Address: 1125 Richter St. **Applicant:** Calona Wines

Subject: Revised Liquor License Application for Special Event Area Endorsement

Existing OCP Designation: Industrial

Existing Zone: I4 - Central Industrial

1.0 Recommendation

That Council directs staff to forward the following recommendation to the Provincial Liquor Control and Licensing Branch (LCLB):

In accordance with Section 18 of the Liquor Control and Licensing Regulation, BE IT RESOLVED THAT:

Council’s comments on the Liquor Control & Licensing Branch (LCLB)’s prescribed considerations for the application from at address: 1125 Richter St., Kelowna BC, (legally described as Lot A, Sections 30, Township 26, ODYD, Plan 30665, Except Plan M15406) for a Special Event Area endorsement, are as follows:

- a) The Winery Special Event Area is located within the building located at 1125 Richter St. in the south end of the building. There are no exterior areas proposed for the Special Event Area.
- b) The proximity of the Special Event Area to other social or recreational facilities and public buildings are as noted on the attached map. The potential for negative impacts is considered to be minimal.
- c) The person capacity of the Special Event Area;
 - Interior overlapping retail area - 210 persons
 - Interior overlapping barrel room - 30 persons
 - Interior overlapping viewing area - 9 persons
 - Any combination of rooms cannot exceed 210 persons
- d) Hours of liquor service on the Special Event Area are proposed to be 9:00 AM to 12:00

midnight, Sunday to Saturday.

- e) Traffic, noise, parking and zoning: There is minimal increase in traffic or parking associated with this application. The parking provided on site meets zoning bylaw regulations for the proposed use. The use is permitted under the current I4 - Central Industrial zone.
- f) The impact on the community if the application is approved: is not anticipated to be major, as the proposed development is expected to add more options for wine tour/tasting to the downtown area, and is expected to benefit other downtown tourist related businesses. Surrounding social or recreational facilities will not conflict with the proposed establishment.
- g) Recommendation:
Council recommends that the application for a Special Event Areas Endorsement be approved for a total 210 person capacity.

2.0 Purpose

To revise the occupant load of a recently considered Special Event Area Endorsement to the existing winery Liquor Licenses for Calona Wines.

3.0 Urban Planning Department

The Calona Wines facility is going through a major renovation of their existing operation located on the subject property. The proposed Special Event Area endorsement will allow the venue to hold catered events, as well as allow flexibility in wine tastings locations within their operation. Council considered the original application on March 18, 2014. This report addresses the revised occupant loads.

This endorsement is not perceived to have negative effects on the surrounding area given the industrial location, and would direct activity to this area of the Downtown. Potential impact on the surrounding community is considered minimal.

In consideration of the above, the Urban Planning Department recommends support for the proposed license endorsement. Discussion on the LCLB's regulatory criteria for Local Government comment on liquor license endorsement applications is as contained within staff's recommendation at the beginning of this report.

4.0 Proposal

4.1 Background

Calona Wines recently received a Development Permit (DP13-0142) to authorize exterior building renovations to facilitate a new winery retail store and tasting room adjacent to the northwest corner of Richter Street and Vaughan Avenue. The consultant has provided revised occupant load for the facility.

4.2 Project Description

An application for a Special Event Area endorsement has been forwarded by the licensee to the Provincial Liquor Control and Licensing Board (LCLB) for their approval. Procedurally, Special

Event Area endorsement requires local government comment prior to the LCLB making final decision.

As part of the recently issued Development Permit, the applicant included an area to accommodate a new winery retail store and tasting room. This newly created area was planned to also accommodate visitors wishing to learn about the production process, as well as taste and purchase winery products.

The requested endorsement will allow daily wine tasting with guests as well as ongoing tastings in a variety of locations, including the barrel cellar. The applicant also proposes to offer events that involve occasional catered meal services for lunch or dinner which may include wine service by the glass. As part of these events, these catered functions may also include culinary guests along with the possibility of live entertainment. The revised occupant load has been noted in the table below;

Existing License Summary	Details
Manufacturers Manufacturers Agent On Site Agent	As a licensed winery
Proposed Endorsement (revised occupant load)	Retail area - 210 persons Barrel room - 30 persons <u>Viewing area - 9 persons</u> Any combination of rooms cannot exceed 210 persons (washroom fixtures) <i>Special Event Area Entertainment*</i>

***Proposed**

Proposed Hours of Sale:

	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
Open	9:00 AM	9:00 AM	9:00 AM	9:00 AM	9:00 AM	9:00 AM	9:00 AM
Close	12:00 midnight	12:00 midnight	12:00 midnight	12:00 midnight	12:00 midnight	12:00 midnight	12:00 midnight

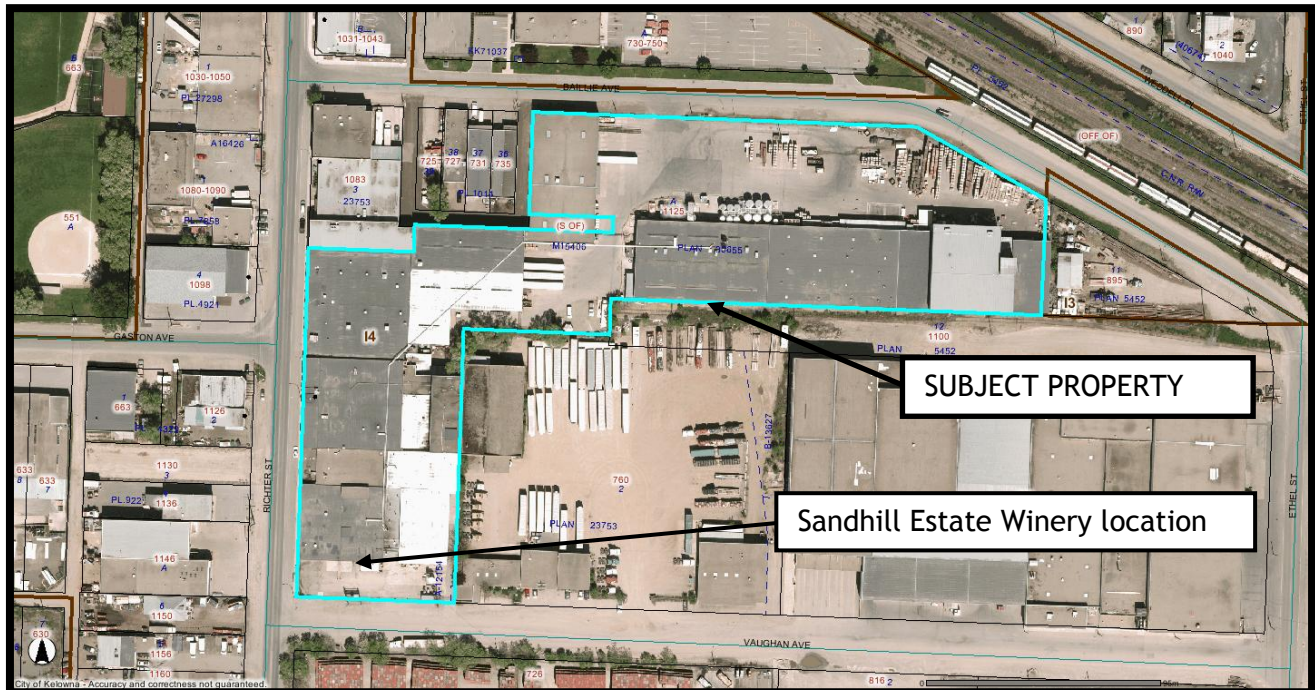
4.3 Site Context

The subject site is located in Kelowna’s central industrial area, immediately east of the Downtown Urban Centre area across Richter Street. The property is comprised of a 2.5 ha parcel with an extensive winery operation (Calona Wines) and related buildings. The portion of the property proposed to be renovated and improved is located at the southwest corner of the site, at the northeast corner of Richter Street and Vaughan Avenue. The surrounding area is largely characterized by traditional industrial development.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	I2 - General Industrial	Industrial
East	I4 - Central Industrial	Industrial
South	I4 - Central Industrial	Industrial
West	I4 - Central Industrial	Industrial

Subject Property Map:



5.0 Existing Policies

5.1 Council Policy #359 - Liquor Licensing Policy & Procedures.

Council Policy #359 includes procedures for Special Event Area Endorsements. The applicant met the spirit of these requirements.

6.0 Technical Comments

6.1 Building & Permitting Department

This area should be site measured to remove the provisional calculations allowance from the sheet.

6.2 Bylaw Services

No concerns.

6.3 Fire Department

Although I do not have many concerns, I do want to ensure that they have the appropriate exiting capacity at this property as well.

6.4 Interior Health Authority

No comments received.

6.5 R.C.M.P.

No concerns.

7.0 Application Chronology

Date of Application Received: November 5, 2013

Date of REVISED Application Received: May 21, 2014

Report prepared by:

Paul McVey, Urban Planner

Reviewed by:

Lindsey Ganczar, Urban Planning Supervisor

Approved for Inclusion:

Ryan Smith, Manager, Urban Planning

Attachments:

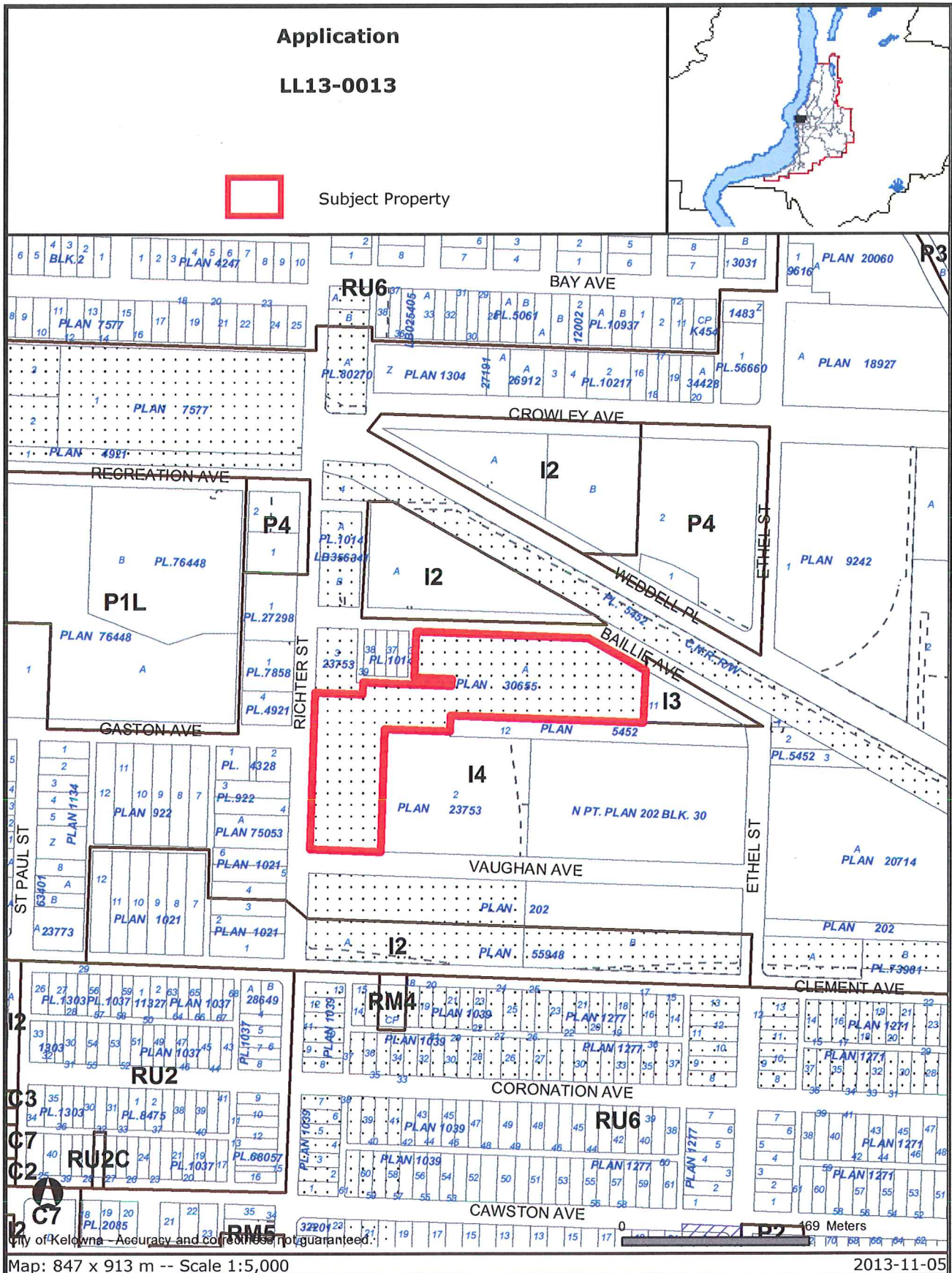
Subject Property Map

Site Plan

REVISED - Provisional Internal Floor Plan (Occupancy Load)

Map of nearby businesses/public facilities

Rationale letter



Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only.
 The City of Kelowna does not guarantee its accuracy. All information should be verified.

Manufacturer Lounge and/or Special Event Areas Endorsement
Licence Application

Part 5: Letter of Intent

1. Purpose

The purpose of this endorsement is to allow daily wine tastings with guests as well as ongoing tastings in a variety of locations, including the barrel cellar. As well, we would like to offer events that involve occasional catered meal services for lunch or dinner and includes wine service by the glass. Lastly, these catered functions would feature culinary guests along with the possibility of live entertainment.

4. Street Map of Surrounding Area

The boundaries in which we chose includes businesses and housing within the area of our property. Since we are located in the industrial part of downtown, we did not include any areas that involved open spaces.

5. Benefits to the Community

Special events that we are able to hold will support and encourage tourism to our facility and the downtown area. Also, events that we have will help in the revitalization of the area.

6. Impact of Noise on the Surrounding Community

There will be no noise impact on the surrounding area as there is no outdoor area. There will be no music amplified above the bylaws that are currently in place. Outdoor lighting and cameras will be installed for security purposes. Also, the increase in traffic should not create additional noise to the area.

7. Other Impacts on the Surrounding Community

Encouraging more traffic to our area will benefit local businesses along the same street. Also, the influx of tourists/guests, will benefit the downtown area as well as the city of Kelowna.

PLAN SCALE: 1/8" = 1'-0"

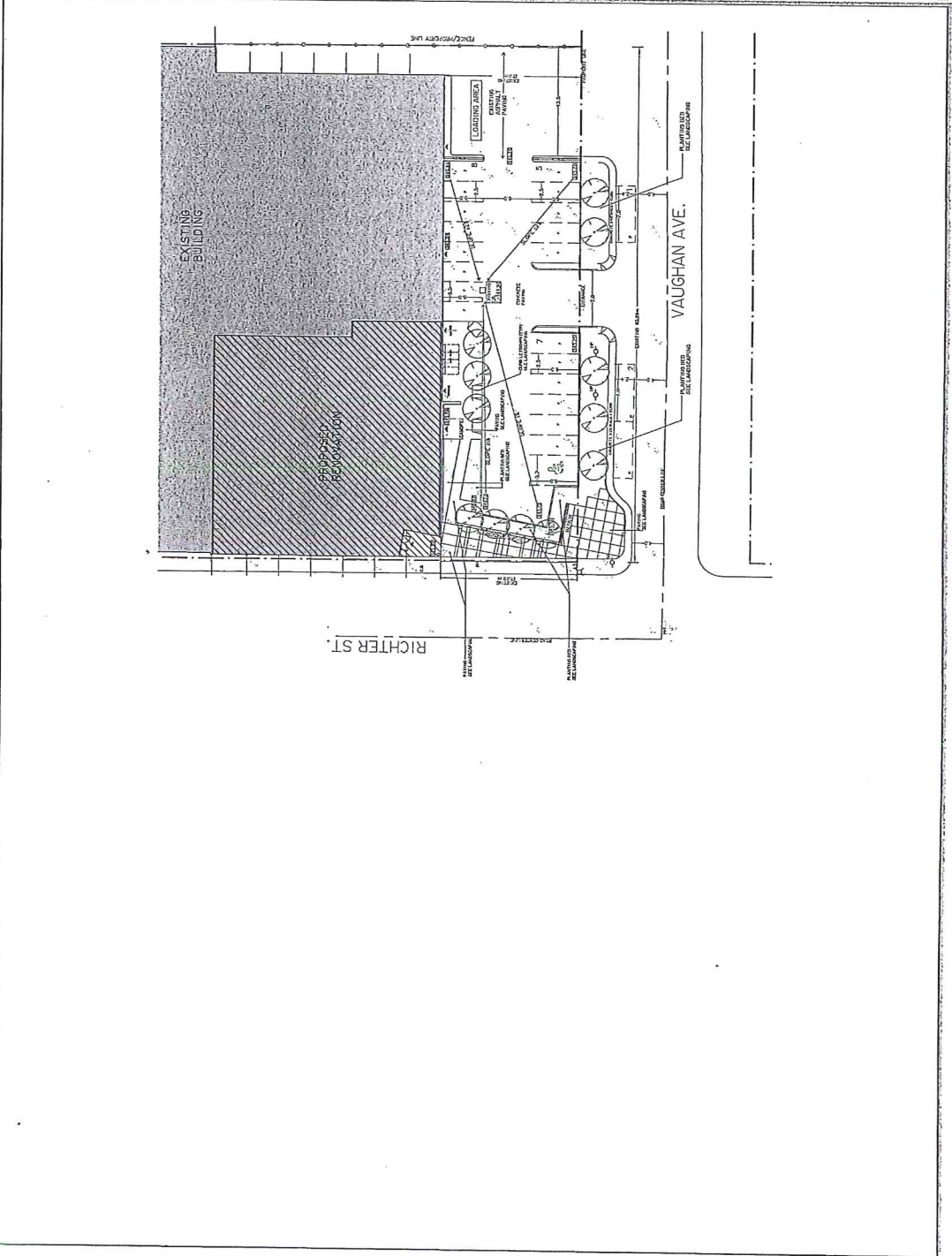
KEY PLAN

No.	Date	Description	By
1		PRELIMINARY DRAWINGS	LA
2		REVISIONS	LA

GREEN WEIS ARCHITECT
 ARCHITECTS
 1000 SHEPPARD AVENUE EAST
 SUITE 100
 SCARBOROUGH, ONTARIO M1B 2Y1
 TEL: (416) 291-1111
 FAX: (416) 291-1112

GREEN WEIS ARCHITECT
 ARCHITECTS
 1000 SHEPPARD AVENUE EAST
 SUITE 100
 SCARBOROUGH, ONTARIO M1B 2Y1
 TEL: (416) 291-1111
 FAX: (416) 291-1112

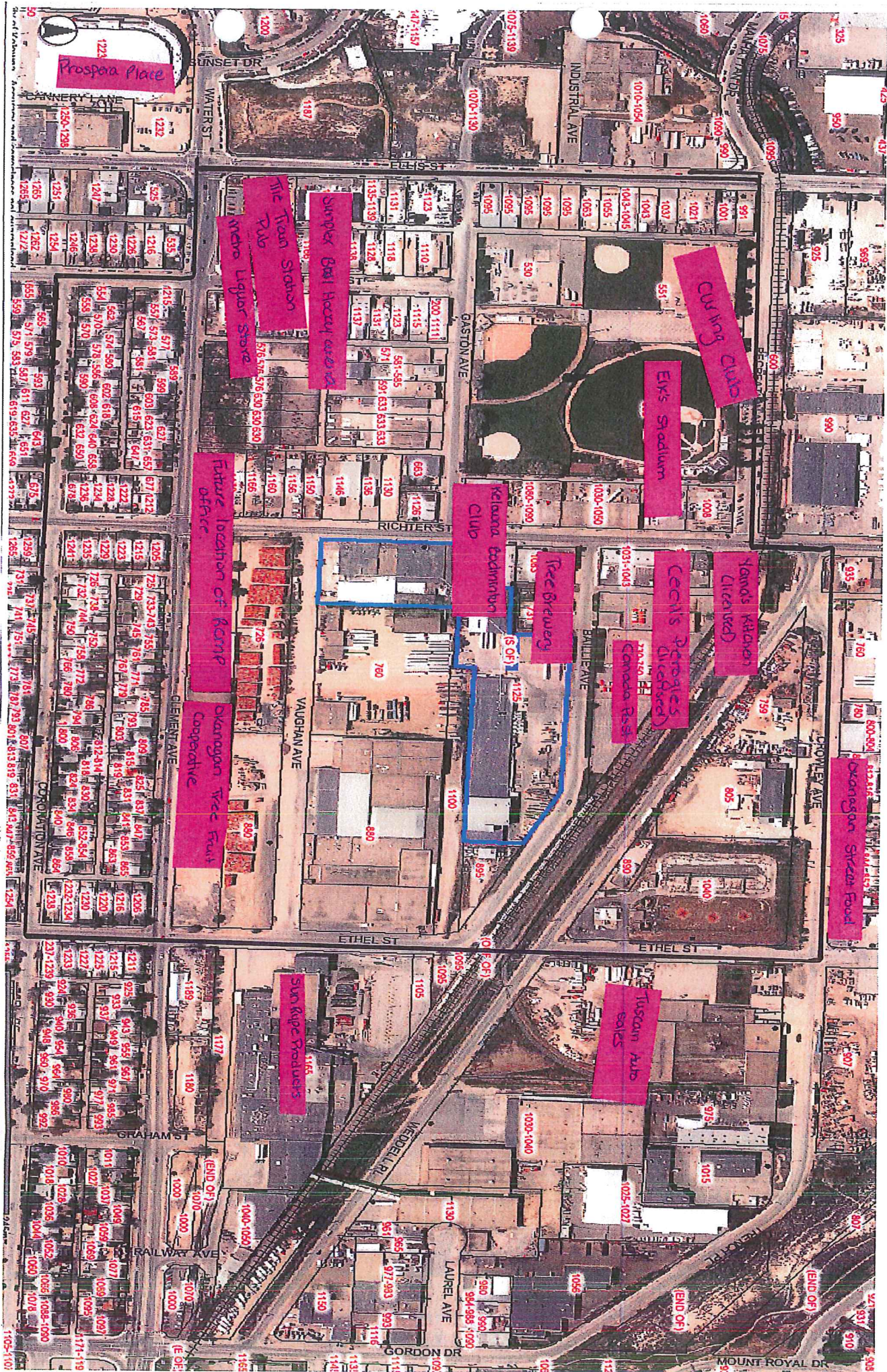
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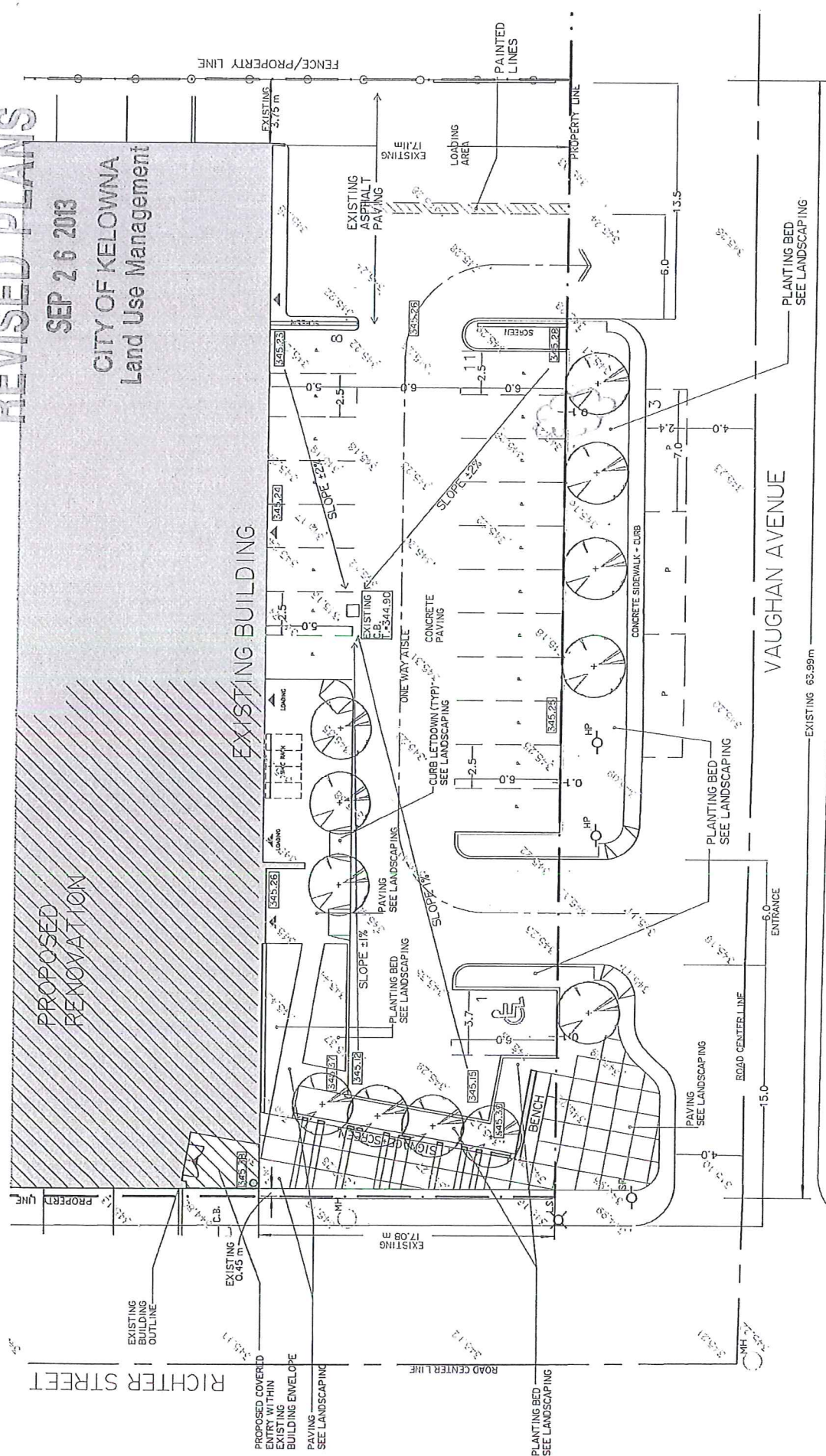
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REVISED PLANS

SEP 26 2013

CITY OF KELOWNA
Land Use Management



PROPOSED RENOVATION

EXISTING BUILDING

VAUGHAN AVENUE

RICHTER STREET

PROPOSED SITE PLAN

THE SANDHILL ESTATE
KELOWNA, BC

SCHEDULE A

This forms part of development
Permit # **DUP13-0143**

GRENWELLS ARCHITECT

1:200
Sep.26, 2013

CALONA WILES
PARKING LOT
DP13-0142

REVISED OCCUPANT LOAD

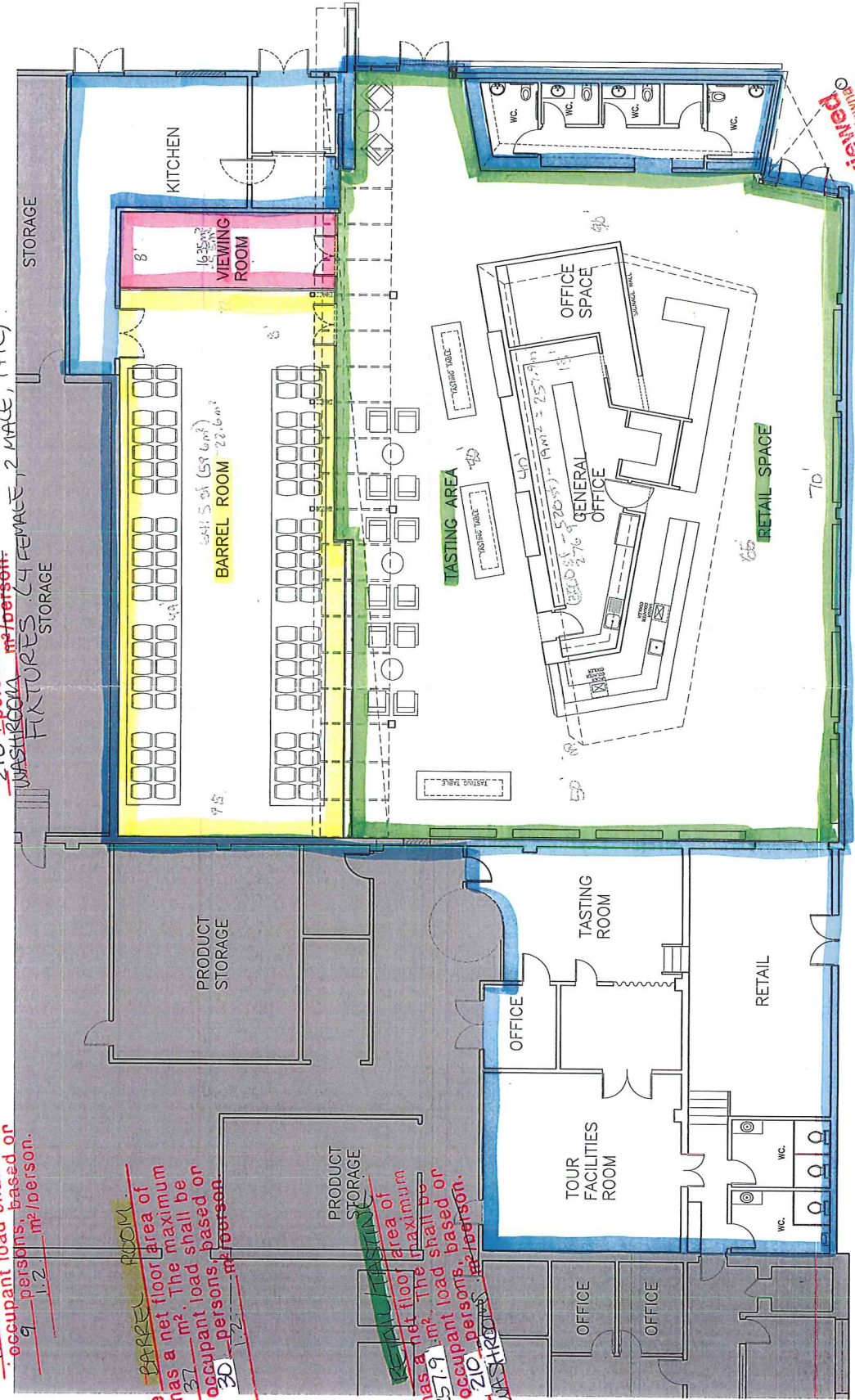
THE ENTIRE SPACE -- ANY COMBINATION OF ROOMS NOT TO EXCEED 210

The ENTIRE SPACE has a net floor area of 1635 m². The maximum occupant load shall be 210 persons, based on 7.8 m²/person.

The VIEWING ROOM has a net floor area of 10.9 m². The maximum occupant load shall be 9 persons, based on 1.2 m²/person.

The BARREL ROOM has a net floor area of 37 m². The maximum occupant load shall be 30 persons, based on 1.2 m²/person.

The TASTING AREA has a net floor area of 257.9 m². The maximum occupant load shall be 210 persons, based on 1.2 m²/person.



REVIEWED BY CITY OF KILWINNIE Inspection Services
 APR 14 2014

*PROVISIONAL - NOT SITE VERIFIED.

CITY OF KELOWNA
BYLAW NO. 10918
Z13-0042 - Ian and Marguerite Sisett
3112 Watt Road

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 9, District Lot 14, ODYD, plan 6069, located on 3112 Watt Road, Kelowna, B.C., from the RU1 - Large Lot Housing zone to the RU1c - Large Lot Housing with Carriage house zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 10th day of March 2014.

Considered at a Public Hearing on the 1st day of April 2014.

Read a second and third time by the Municipal Council this 1st day of April 2014.

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

REPORT TO COUNCIL



Date: June 16, 2014
RIM No. 0940-50
To: City Manager
From: Urban Planning, Community Planning & Real Estate (AC)
Application: DVP13-0185 **Owners:** Ian & Marguerite Sisett
Address: 3112 Watt Road **Applicant:** Ian Sisett
Subject: Development Variance Permit Application
Existing OCP Designation: S2RES - Single / Two Unit Residential
PARK - Major Park and Open Space
Existing Zone: RU1c - Large Lot Housing with Carriage House

1.0 Recommendation

THAT Council authorize the issuance of Development Variance Permit No. DVP13-0185, for Lot 9, District Lot 14, ODYD, plan 6069, located on 3112 Watt Road, Kelowna, BC

AND THAT the variance to the following section Zoning Bylaw No. 8000 be granted:

Section 9.5b.1 (d) - Carriage House Regulations

To vary the permitted height of a proposed carriage house from 4.5m to 6.19m.

2.0 Purpose

To consider a height variance for a proposed carriage house.

3.0 Urban Planning Department

Urban Planning staff is supportive of the proposed height variance. Council approved a height variance to 6.19m for an accessory building and the permit was issued on May 10th 2012. The applicant wishes to convert the accessory space to a carriage house. A rezoning application to the RU1c - Large Lot Housing with Carriage House received third reading at the April 1st 2014 Council meeting. Final adoption of the zone needs to occur prior to issuing the development variance permit.

4.0 Proposal

4.1 Background

In 2012, the applicant requested and received three variances in order to permit a second storey to be constructed over a previously existing single storey structure (DVP12-0032), whose siting

was illegal. At that time, staff recommended against the proposal, and there were several concerns raised by neighbouring residents. The proponent previously made application to develop a carriage house in 2009, but subsequently withdrew the application.

In accordance with Council Policy No. 367, the applicant has conducted Neighbour Consultation to provide an early opportunity for dialogue about a project between the proponent and surrounding residents. Of the 16 properties consulted, 9 were in support of the proposal, 1 was opposed, and 7 did not provide a response. Two properties within the required 50m radius were not consulted, as the applicant felt that their interests would be unaffected by the proposal. Staff also received a letter from the one land owner in opposition noting as justification that the carriage house may present privacy challenges, that it sets a precedent for over-height carriage houses, that it may trigger the proliferation of carriage houses on Watt Road, and that such development can contribute to noise problems.

4.2 Project Description

The applicant is proposing to convert the upper level of an existing accessory building into a carriage house. The main level of the accessory building is currently occupied by a two car garage exiting directly onto Watt Road, and a games room of approximately 32m² in area. The upper level is approximately 45.3 m² in area and is currently used as a storage area. Once converted, the upper level would contain a one bedroom dwelling accessed from the top of a common staircase into the accessory building.

Landscaped private open space is accessible to the carriage house on the north and east sides of the building. Ample parking is provided for the use in the existing driveway.

No changes to the exterior of the building are proposed as part of this application. Nevertheless, a Development Permit is required to evaluate the form and character of the proposal and will be executed at a staff level. Despite previous variances required to legalize the siting and size of the accessory building, an additional variance is required to permit a carriage house in excess of 4.5 m in height.

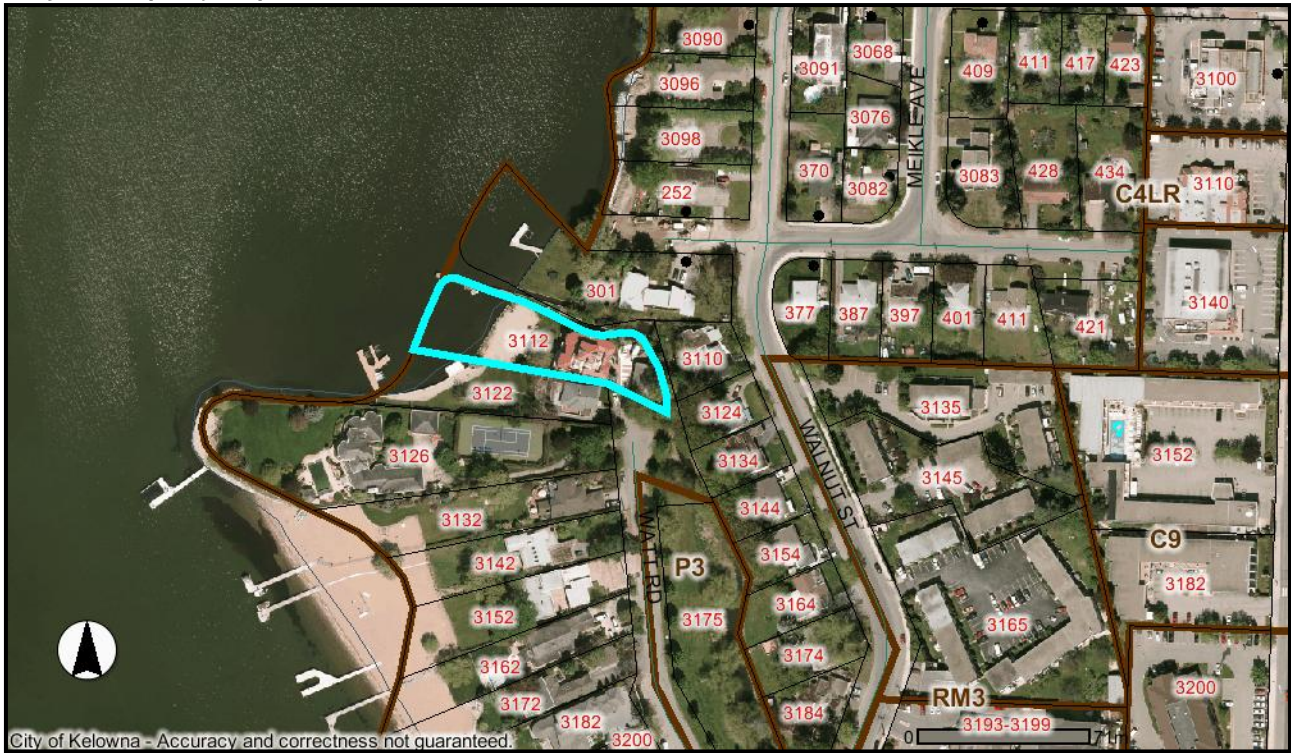
4.3 Site Context

The subject property is approximately 0.25ha in area and is situated at the northern terminus of Watt Road. The parcel fronts Okanagan Lake at the south side of the mouth of Fascieux Creek, and presently contains a principal dwelling and an accessory building. Development surrounding the parcel consists principally of low density single family residential.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU1 - Large Lot Housing	Fascieux Creek, Low Density Residential
East	RU1 - Large Lot Housing	Fascieux Creek, Low Density Residential
South	RU1 - Large Lot Housing	Low Density Residential
West	Okanagan Lake	Okanagan Lake

Subject Property Map: 3112 Watt Road



4.4 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	RU1 ZONE REQUIREMENTS	PROPOSAL
Existing Lot/Subdivision Regulations		
Lot Area	550 m ²	2,547 m ²
Lot Width	16.5 m	Approx. 20.0 m
Lot Depth	30.0 m	Approx. 98.0 m
Development Regulations (Principal Dwelling)		
Max Height	Lesser of 9.5m or 2 ½ storeys	2 ½ storeys
Floor Area	-	Approx. 530 m ²
Development Regulations (Carriage House)		
Max Height	4.5 m	6.2 m ¹
Min Front Yard (east)	18.0 m	3.4 m*
Min Side Yard (south)	1.0 m	1.08 m
Min Side Yard (north)	1.0 m	exceeds
Min Rear Yard (west)	1.5 m	exceeds
Max Site Coverage (bldgs)	40%	16%
Max Site Coverage (bldgs & parking)	50%	21%
Other Regulations		
Min Parking Requirements	3	exceeds
Max Lot Coverage	Lesser of 14% or 90 m ²	102 m ^{2*}
Min Private Open Space	30 m ²	exceeds
Min Building Separation	4.5 m	exceeds

① Variance to the maximum height of a carriage house from 4.5 m permitted to 6.2 m proposed.

* Varied as per Development Variance Permit No. DVP12-0032.

5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Policy 5.2.3 Complete Suburbs.¹ Support a mix of uses within Kelowna's suburbs (see Map 5.1 - Urban Core Area), in accordance with "Smart Growth" principles to ensure complete communities. Uses that should be present in all areas of the City (consistent with Map 4.1 - Future Land Use Map), at appropriate locations, include: commercial, institutional, and all types of residential uses (including affordable and special needs housing) at densities appropriate to their context.

Policy 5.22.6 Sensitive Infill² Encourage new development or redevelopment in existing residential areas to be sensitive to or reflect the character of the neighborhood with respect to building design, height and siting.

Policy 5.22.7 Healthy Communities³ Through current zoning regulations and development processes, foster healthy, inclusive communities and a diverse mix of housing forms, consistent with the appearance of the surrounding neighbourhood.

6.0 Technical Comments

6.1 Building & Permitting Department

- 1) Development Cost Charges (DCC's) are required to be paid prior to issuance of any Building Permits.
- 2) Operable bedroom windows required as per the 2012 edition of the British Columbia Building Code (BCBC 12).
- 3) Range hood above the stove and the washroom to vent separately to the exterior of the building. The size of the penetration for this duct thru a fire separation is restricted by BCBC 06, so provide size of ducts and fire separation details at time of Building Permit Applications.
- 4) A fire rated exit stairwell is required from the suite to the exterior c/w fire rated doors that open into the stairwell and a fire rating on the bottom of the stairs. Please provide these details on the building permit drawing sets.
- 5) Full Plan check for Building Code related issues will be done at time of Building Permit applications.

6.2 Development Engineering Department

See attached Memorandum, dated December 17, 2013.

6.3 RCMP

The RCMP have no comments regarding this application.

¹ Official Community Plan Objective 5.2 Community Sustainability

² Official Community Plan Objective 5.22 Residential Land Use Policies.

⁴ Official Community Plan Objective 5.22 Residential Land Use Policies.

6.4 Fire Department

Requirements of Section 9.10.19 Smoke Alarms of the BCBC 2012 are to be met. Additional visible address is required from Watt Rd.

6.5 FortisBC Inc. (Electric)

There are primary distribution facilities within Watt Rd. The applicant is responsible for costs associated with any change to the subject property's existing service, if any, as well as the provision of appropriate land rights where required.

Otherwise, FortisBC Inc. (Electric) has no concerns with this circulation.

6.6 Interior Health Authority

Interests are unaffected.

6.7 Shaw Cable

Shaw Cable approves proposed rezoning application at 3112 Watt Road.

Owner/developer to supply and install an underground conduit system per Shaw Cable drawings and specifications.

6.8 Telus

TELUS has no comment regarding this application.

7.0 Application

Date of Application Received: November 15, 2013

Neighbour Consultation: January 25, 2014

Additional Information Received: February 18, 2014

Report prepared by:

Adam Cseke, Planner

Reviewed by:

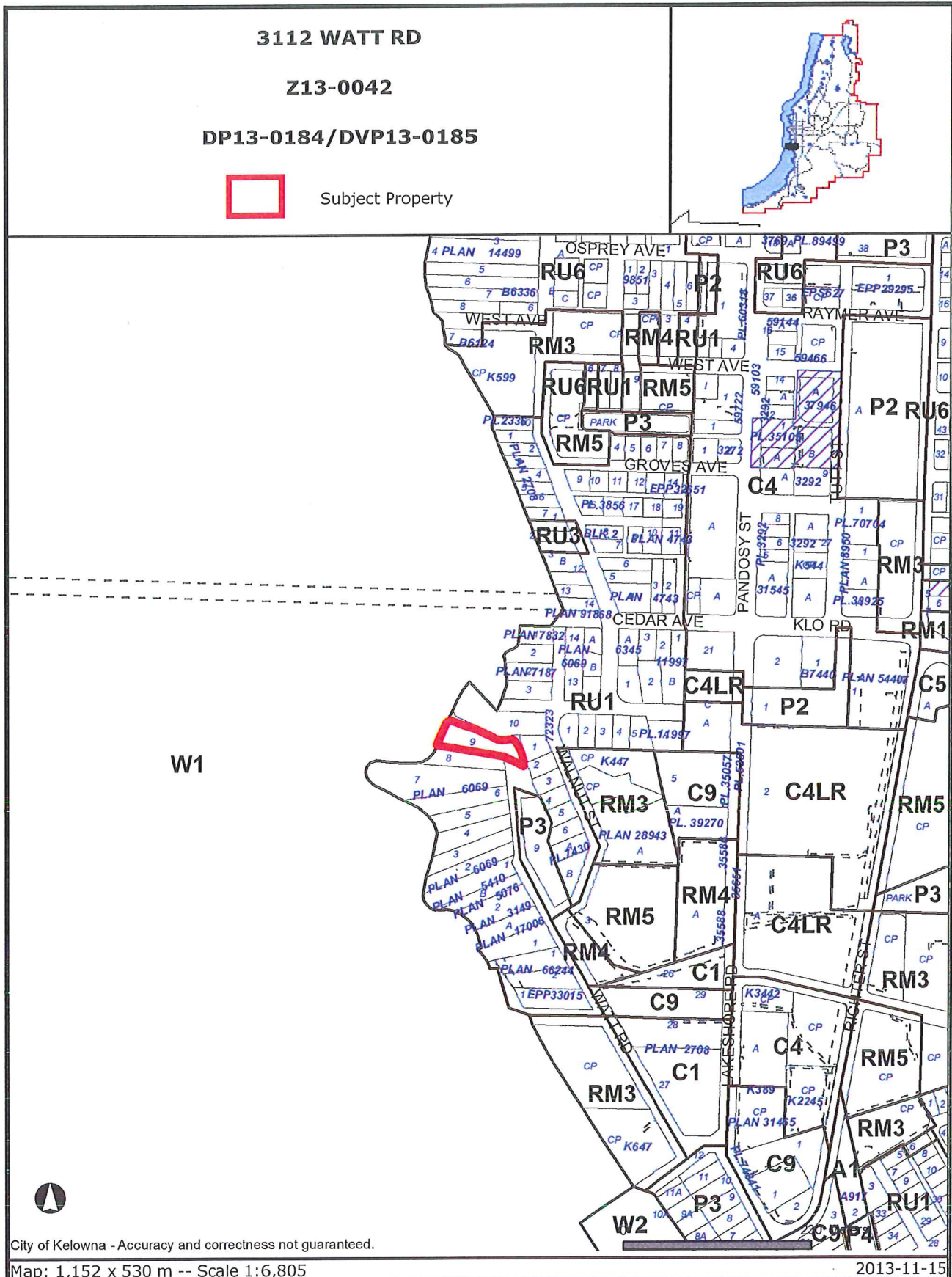
Lindsey Ganczar, Urban Planning Supervisor

Approved for Inclusion

Ryan Smith, Urban Planning Manager

Attachments:

Subject Property Map
Development Engineering Memorandum, dated December 17, 2013
Development Variance Permit



*Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only.
The City of Kelowna does not guarantee its accuracy. All information should be verified.*

CITY OF KELOWNA
MEMORANDUM

Date: December 17, 2013
File No.: Z13-0042

To: Urban Planning (JM)

From: Development Engineering Manager (SM)

Subject: 3112 Watt Rd

RU1 to RU1c

Development Engineering has the following comments and requirements associated with this application. The utility upgrading requirements outlined in this report will be a requirement of this development.

1. Domestic Water and Fire Protection

This property is currently serviced with a 19mm-diameter copper water service. The service will be adequate for this application.

2. Sanitary Sewer

Our records indicate that this property is currently serviced with a 100mm-diameter sanitary sewer service which is adequate for this application.

3. Development Permit and Site Related Issues

Direct the roof drains into on-site rock pits.

4. Electric Power and Telecommunication Services

It is the applicant's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for service upgrades to these services which would be at the applicant's cost.

Steve Muenz, P. Eng.
Development Engineering Manager

SS

CITY OF KELOWNA

APPROVED ISSUANCE OF A:

Development Variance Permit No.: DVP13—0185

EXISTING ZONING DESIGNATION:	RU1c - Large Lot Housing with Carriage House
WITHIN DEVELOPMENT PERMIT AREA:	n/a

ISSUED TO: Ian & Marguerite Sisett
LOCATION OF SUBJECT SITE: 3112 Watt Rd

	LOT	D.L.	PLAN	SECTION	TOWNSHIP	DISTRICT
LEGAL DESCRIPTION:	9	14	6069			ODYD

<u>SCOPE OF APPROVAL</u>
<p><input type="checkbox"/> This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.</p> <p><input type="checkbox"/> This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.</p> <p><input type="checkbox"/> Applicants for Development and Development Variance Permit should be aware that the issuance of a Permit limits the applicant to be in strict compliance with regulations of the Zoning Bylaw or Subdivision Control Bylaw unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations which are inconsistent with bylaw provisions and which may not have been identified as required Variances by the applicant or City staff.</p>

1. TERMS AND CONDITIONS:

THAT the variance to the following section Zoning Bylaw No. 8000 be granted:

Section 9.5b.1 (d) - Carriage House Regulations

To vary the permitted height of a carriage house from 4.5m to 6.19m (as per schedule 'A').

3. PERFORMANCE SECURITY: None Required.

4. DEVELOPMENT:

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

If the Permittee does not commence the development Permitted by this Permit within one year of the date of this Permit, this Permit shall lapse.

This Permit is not transferable unless specifically permitted by the Municipality. The authorization to transfer the Permit shall, if deemed acceptable, be granted by Council resolution.

THIS Permit IS NOT A BUILDING Permit.

5. APPLICANT'S AGREEMENT:

I hereby declare that all the above statements and the information contained in the material submitted in support of this Permit are to the best of my belief, true and correct in all respects. Upon issuance of the Permit for me by the Municipality, then in such case, I covenant and agree to save harmless and effectually indemnify the Municipality against:

- (a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality granting to me the said Permit.
- (b) All costs, expenses, claims that may be incurred by the Municipality if the construction by me of engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

I further covenant and agree that should I be granted a Development Permit or Development Variance Permit, the Municipality may withhold the granting of any occupancy Permit for the occupancy and/or use of any building or part thereof constructed upon the hereinbefore referred to land until all of the engineering works or other works called for by the Permit have been completed to the satisfaction of the Municipal Engineer and Divisional Director of Community Planning & Real Estate.

Should there be any change in ownership or legal description of the property, I undertake to notify the Urban Planning Department immediately to avoid any unnecessary delay in processing the application.

I HEREBY UNDERSTAND AND AGREE TO ALL THE TERMS AND CONDITIONS SPECIFIED IN THIS PERMIT.

Signature of Owner/Authorized Agent

Date

Print Name in Bold Letters

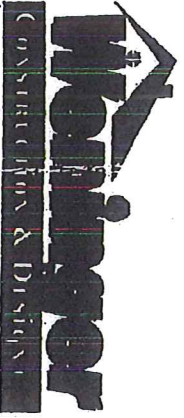
Telephone No.

6. APPROVALS:

DEVELOPMENT VARIANCE PERMIT AUTHORIZED BY THE COUNCIL ON THE ____ OF _____, 2014.

ISSUED BY THE URBAN PLANNING DEPARTMENT OF THE CITY OF KELOWNA THE ____ DAY OF _____, 2014 BY THE DIVISIONAL DIRECTOR OF COMMUNITY PLANNING & REAL ESTATE.

Doug Gilchrist, Divisional Director - Community Planning & Real Estate



Unit# 103-200
 Dougal Road North, Kelowna, BC V1X 3K5
 Tel: (250) 765-6898 Fax: (250) 765-6078

SCALE
 1/16" = 1'-0"

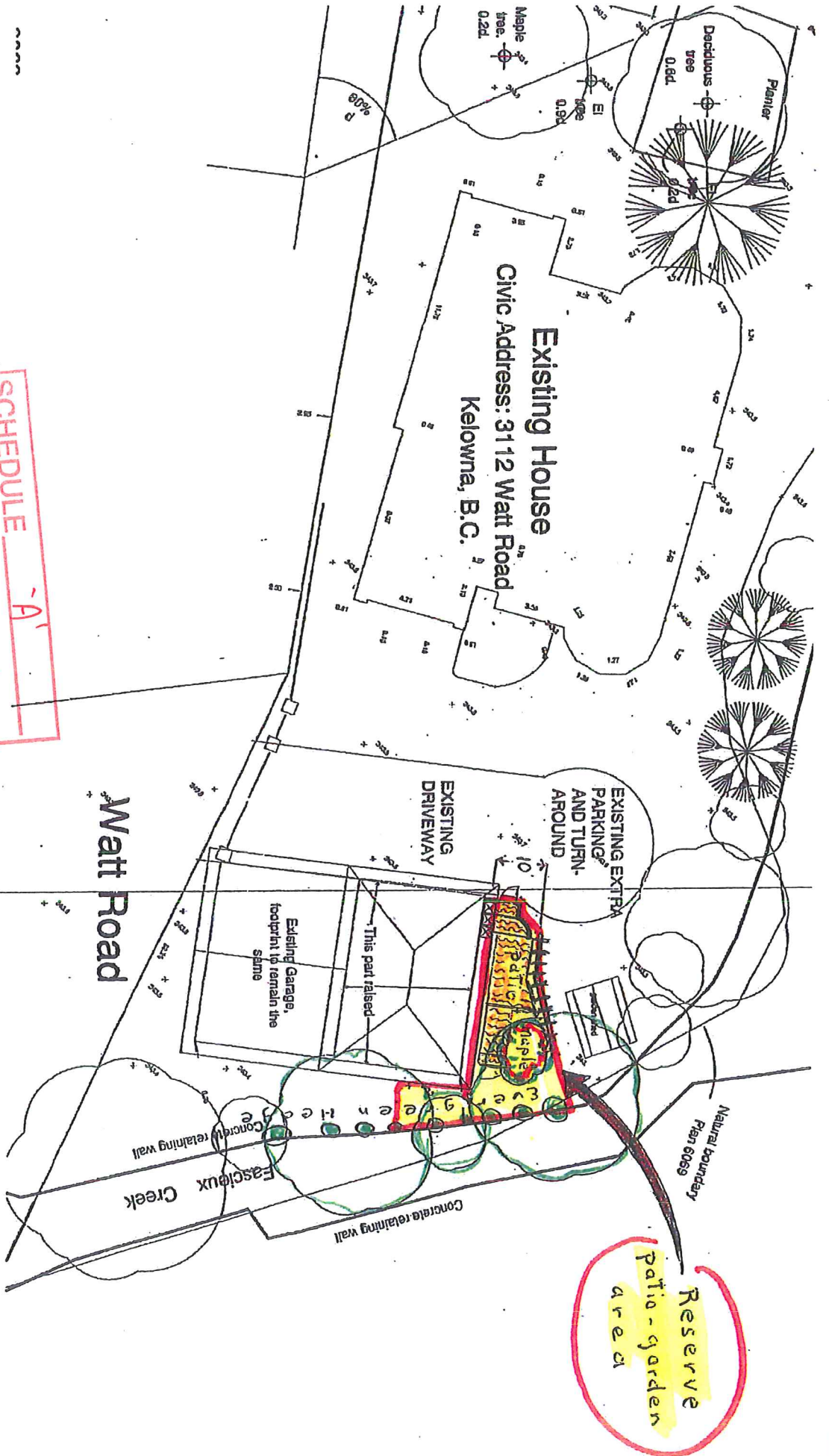
DRAWN BY
 Martin Mentinger

DATE
 April 15, 2008

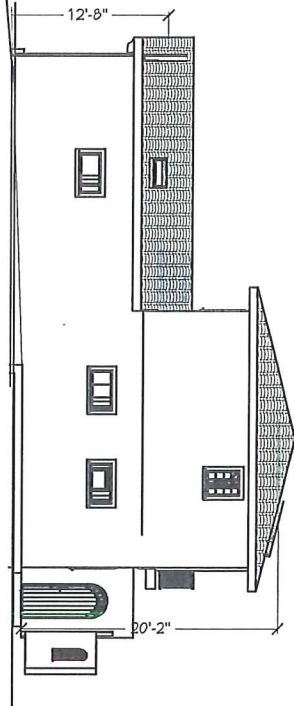
SHEET NO.
 1

PROJ.
 S

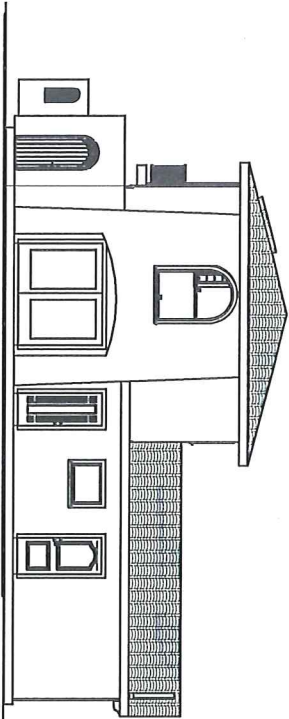
SCHEDULE 'A'
 This forms part of development
 Permit # **DP13-0185**



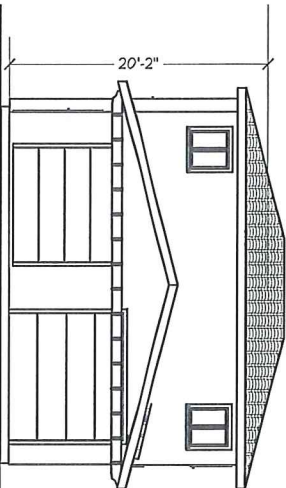
RIGHT ELEVATION



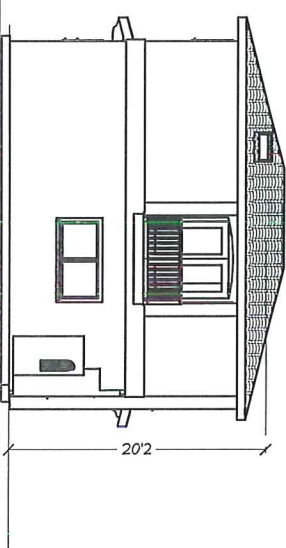
LEFT ELEVATION



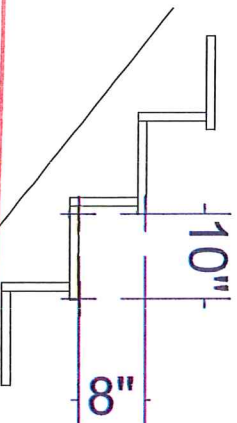
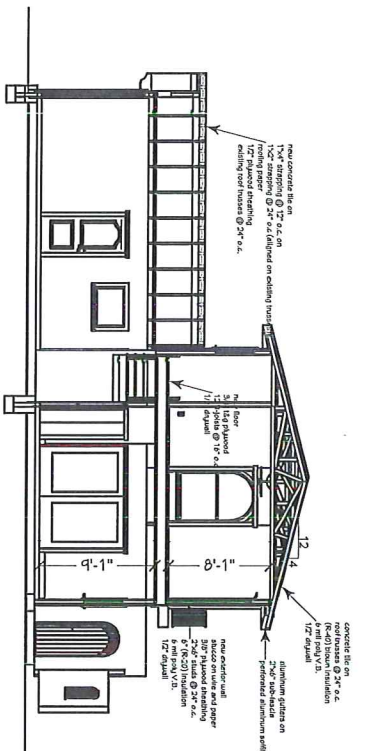
FRONT ELEVATION



REAR ELEVATION



CROSS SECTION



SCHEDULE stair detail 'A'

This forms part of development
 Permit # AVP13-0185



Unit# 103-200
 Dougal Road North, Kelowna, BC V1X 3K5
 Tel: (250) 765-6898 Fax: (250) 765-6078

SCALE
 1/8" = 1'-0"

DRAWN BY
 DATE: 2/13/2010
 SHEET NO
 1

PROJECT TITLE
ELEVATIONS AND SECTIONS

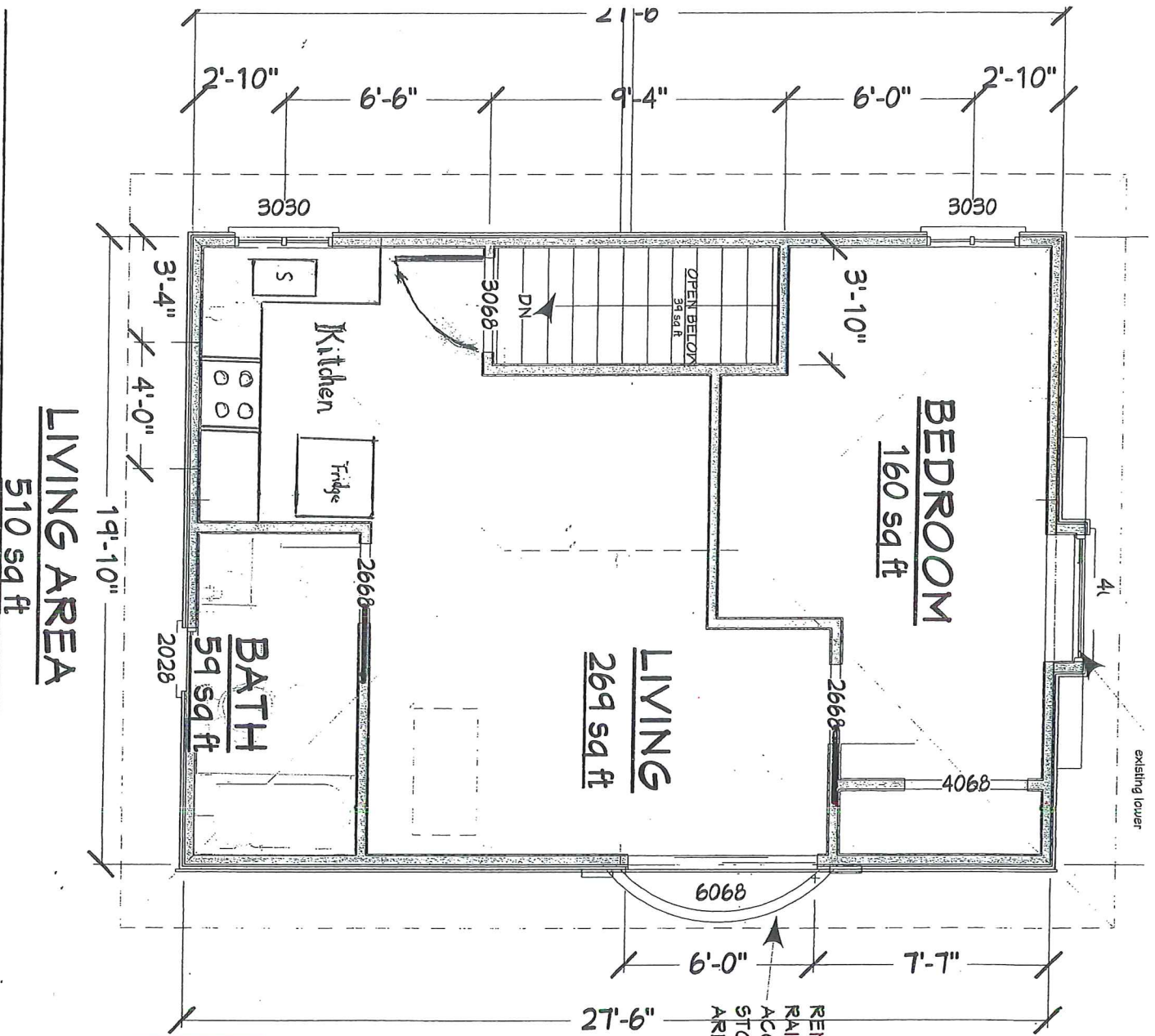


Unit# 103-200
 Dougal Road North, Kelowna, BC V1X 3K5
 Tel: (250) 765-6898 Fax: (250) 765-6078

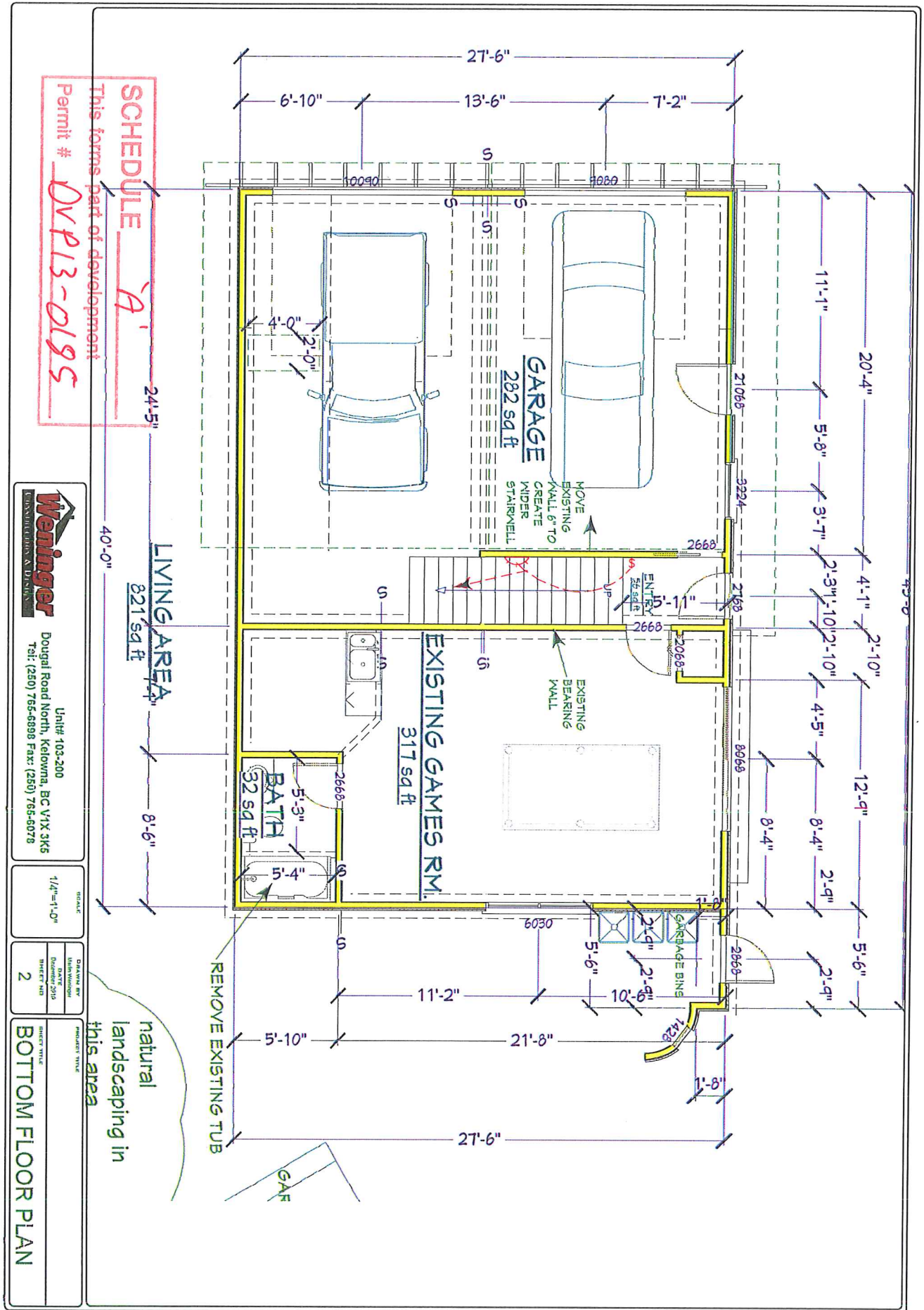
SCALE:
 1/4" = 1'-0"

DRAWN BY
 Martin Weninger
 DATE
 December 2010
 SHEET NO
 3

PROJECT TITLE
 SHEET TITLE
TOP FINISH PLAN



SCHEDULE - A'
 This forms part of development
 Permit # **DVP13-0185**





Carriage House Application

3112 Watt Road

SCHEDULE 70'
This forms part of development
Permit # DVP13-0185

City of Kelowna

REPORT TO COUNCIL



Date: 6/16/2014
RIM No. 1940-50
To: City Manager
From: Urban Planning, Community Planning & Real Estate (AC)
Application: DVP14-0100 **Owner:** Delta Hotels No 48 Holdings Ltd
Address: 1346 Water Street **Applicant:** Tod Melnyk
Subject: Development Variance Permit Application
Existing OCP Designation: COMM - Commercial
Existing Zone: C8 (rls) (lp) - Convention Hotel Commercial (Retail Liquor Primary) and (Liquor Primary)

1.0 Recommendation

THAT Council authorize the issuance of Development Variance Permit No. DVP14-0100, Lot 1, District Lots (139, 4041, & 4082), ODYD, Plan KAP73542 located on 1346 Water Street, Kelowna, BC.

AND THAT the variance to the following section Zoning Bylaw No. 8000 be granted:

Section 14.8.5 - Development Regulations

To vary the side yard setback for a trellis structure from 4.5m to 0.07m; and

To vary the front yard setback for a weather protection entry roof feature from 4.5m to 1.79m

2.0 Purpose

To vary the side yard setback for a trellis structure from 4.5m to 0.076m; and

To vary the front yard setback for a weather protection entry roof feature from 4.5m to 1.794m

3.0 Urban Planning

The proposed variance is required to accommodate a trellis structure over the patio. Development Permit DP14-0120 reviewed the form and character of the entire proposal including the landscaping, entry feature and fencing. The Development Permit was issued ahead of the variance permit as the applicant wished to install all the works prior to variance approval in order to open in mid-July. If Council rejects the variance application the applicant would have to alter their design regarding the trellis structure and the roof entry feature but the rest of works approved by DP14-0120 would still be permitted.

The proposal meets all the urban design guidelines outlined in the OCP. The patio interface and the entry feature act as good transitional space from the public realm to the interior private space. Additionally, none of the proposed additions will trigger any change of use nor will the additions trigger any additional zoning bylaw requirements such as parking.

To fulfill Council Policy No. 367 for public consultation, the applicant undertook neighbour consultation by individually contacting the neighbours within a 50 metre radius. No major issues were identified during consultation from neighbouring parcels.

4.0 Proposal

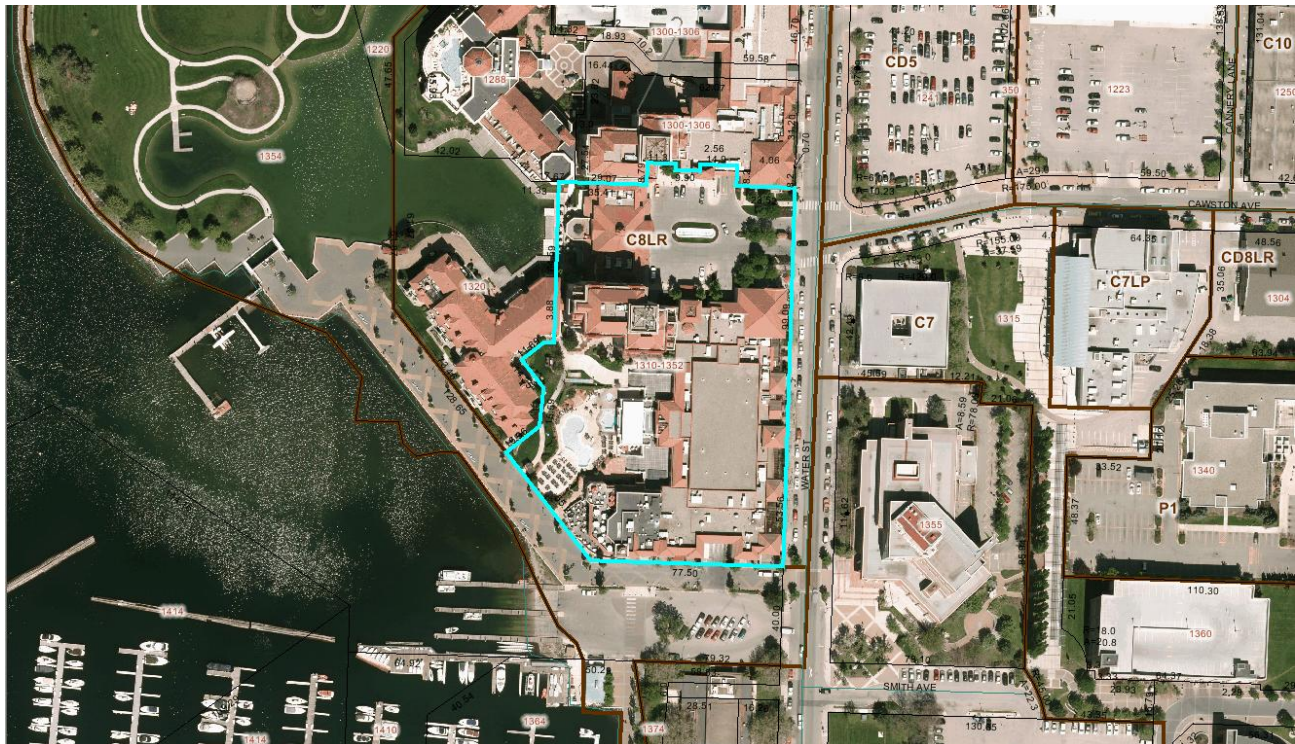
4.1 Background

All developments proposing façade renovations within urban centres require a Development Permit for review of the form and character.

4.2 Site Context

The subject property is located on the west side of Water Street. The surrounding properties are zoned C9 -lp/r/s Tourist Commercial (Liquor Primary / Retail Liquor Sales), CD-5, P1 - Major Institutional, P-3 Parks and Open Space.

4.3 Subject Property Map: 1346 Water Street:



5.0 Zoning Analysis Table

The zoning analysis table is extracted from the Development Variance Permit and shows the requirements of C9 -lp/rls Tourist Commercial (Liquor Primary / Retail Liquor Sales) zone compared to the proposal at the time:

Zoning Analysis Table		
CRITERIA	PROPOSAL	C9 ZONE REQUIREMENTS
Existing Lot/Subdivision Regulations		
Lot Area	1,800 m ²	15,086.4 m ²
Development Regulations		
Min Front Yard Setback	1.794 m	4.5 m
Min Side Yard Setback	0.076m	2.3m

6.0 Technical Comments

Building & Permitting

- The Building Code analysis may require the patio to be sprinklered.
- Full Plan check for Building Code related issues will be done at time of Building Permit applications.

Fire

- Provide proper exiting off of the patio area - should it be a gate it shall not have a lock that requires special knowledge to open.

Development Engineering

- See attached

7.0 Application Chronology

Date of Application Received:

May 28, 2014

Date of Neighbourhood Consultation Received (re: variance):

June 17, 2014

Report prepared by:

Adam Cseke, Planner

Reviewed by:

Lindsey Ganczar, Urban Planning Supervisor

Approved Inclusion:

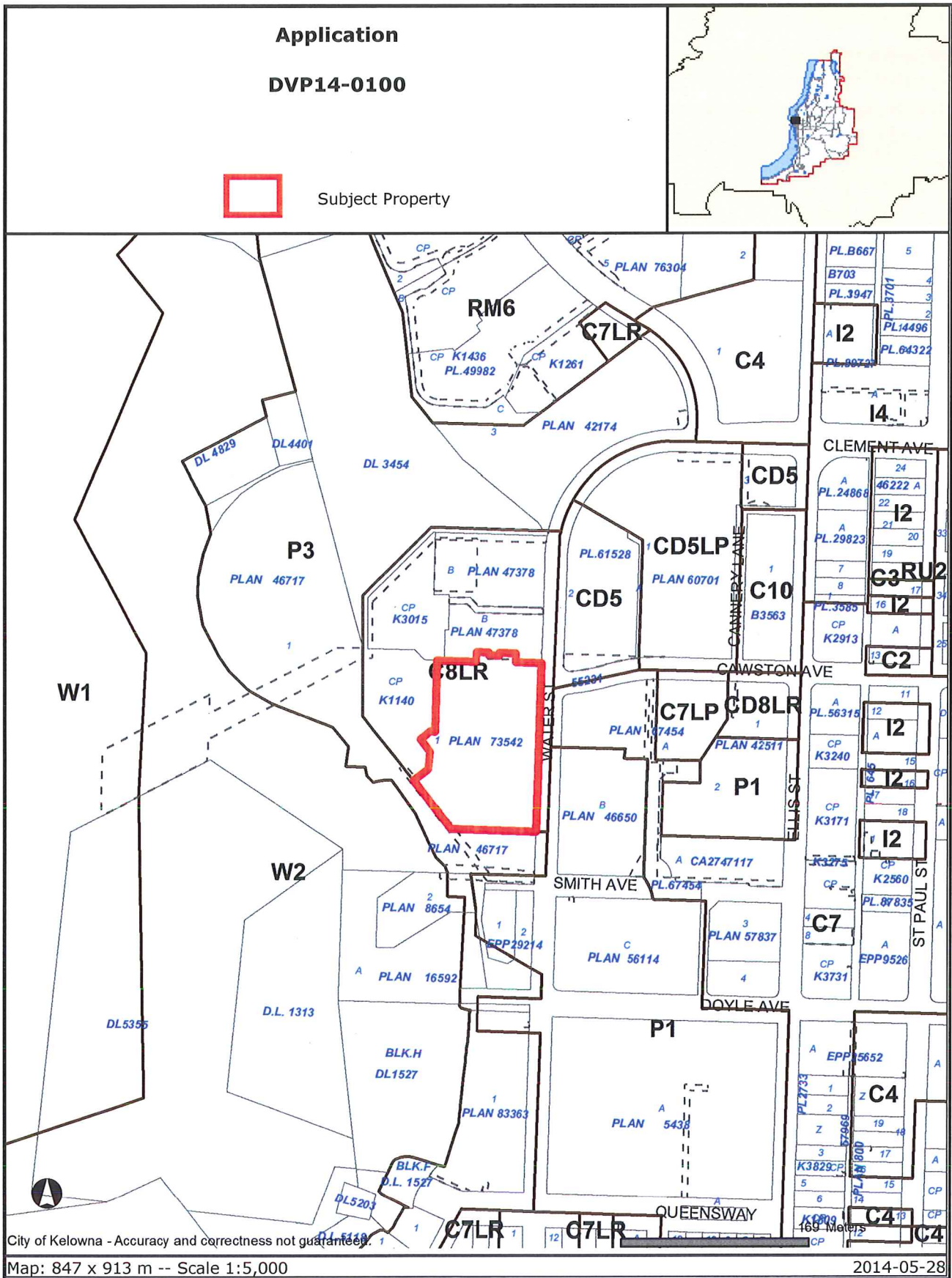
Ryan Smith, Urban Planning Manager

Attachments:

Subject Property Map

Development Engineering Memo

Development Variance Permit



Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only.
The City of Kelowna does not guarantee its accuracy. All information should be verified.

CITY OF KELOWNA
MEMORANDUM

Date: June 2, 2014
File No.: DVP14-0100
To: Urban Planning (AC)
From: Development Engineering Manager (SM)
Subject: 1345 Water Street

Development Engineering comments and requirements regarding this development variance permit application are as follows:

This development variance permit application to vary the side yard setback to 0.076m (3") does not compromise any municipal services.

Steve Muenz, P. Eng.
Development Engineering Manager

SS

CITY OF KELOWNA

APPROVED ISSUANCE OF A:

Development Variance Permit No.: DVP14-0100

EXISTING ZONING DESIGNATION:	C8 (rls) (lp) - Convention Hotel Commercial (Retail Liquor Primary) and (Liquor Primary)
WITHIN DEVELOPMENT PERMIT AREA:	Comprehensive Development Permit Areas

ISSUED TO:	Delta Hotels No 48 Holdings Ltd.
LOCATION OF SUBJECT SITE:	1346 Water St

	LOT	D.L.	PLAN	SECTION	TOWNSHIP	DISTRICT
LEGAL DESCRIPTION:	1	139, 4041, & 4082	KAP73542			ODYD

<u>SCOPE OF APPROVAL</u>
<p><input type="checkbox"/> This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.</p> <p><input type="checkbox"/> This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.</p> <p><input type="checkbox"/> Applicants for Development and Development Variance Permit should be aware that the issuance of a Permit limits the applicant to be in strict compliance with regulations of the Zoning Bylaw or Subdivision Control Bylaw unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations which are inconsistent with bylaw provisions and which may not have been identified as required Variances by the applicant or City staff.</p>

1. TERMS AND CONDITIONS:

THAT the variance to the following section Zoning Bylaw No. 8000 be granted:

Section 14.8.5 - Development Regulations

To vary the side yard setback for a trellis structure from 4.5m to 0.076m; and

To vary the front yard setback for a weather protection entry roof feature from 4.5m to 1.794m

2. PERFORMANCE SECURITY: None Required.

3. DEVELOPMENT:

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

If the Permittee does not commence the development Permitted by this Permit within one year of the date of this Permit, this Permit shall lapse.

This Permit is not transferable unless specifically permitted by the Municipality. The authorization to transfer the Permit shall, if deemed acceptable, be granted by Council resolution.

THIS Permit IS NOT A BUILDING Permit.

4. APPLICANT'S AGREEMENT:

I hereby declare that all the above statements and the information contained in the material submitted in support of this Permit are to the best of my belief, true and correct in all respects. Upon issuance of the Permit for me by the Municipality, then in such case, I covenant and agree to save harmless and effectually indemnify the Municipality against:

- (a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality granting to me the said Permit.
- (b) All costs, expenses, claims that may be incurred by the Municipality if the construction by me of engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

I further covenant and agree that should I be granted a Development Permit or Development Variance Permit, the Municipality may withhold the granting of any occupancy Permit for the occupancy and/or use of any building or part thereof constructed upon the hereinbefore referred to land until all of the engineering works or other works called for by the Permit have been completed to the satisfaction of the Municipal Engineer and Divisional Director of Community Planning & Real Estate.

Should there be any change in ownership or legal description of the property, I undertake to notify the Urban Planning Department immediately to avoid any unnecessary delay in processing the application.

I HEREBY UNDERSTAND AND AGREE TO ALL THE TERMS AND CONDITIONS SPECIFIED IN THIS PERMIT.

Signature of Owner/Authorized Agent

Date

Print Name in Bold Letters

Telephone No.

5. APPROVALS:

DEVELOPMENT VARIANCE PERMIT AUTHORIZED BY THE COUNCIL ON THE ____ DAY OF _____, 2014.

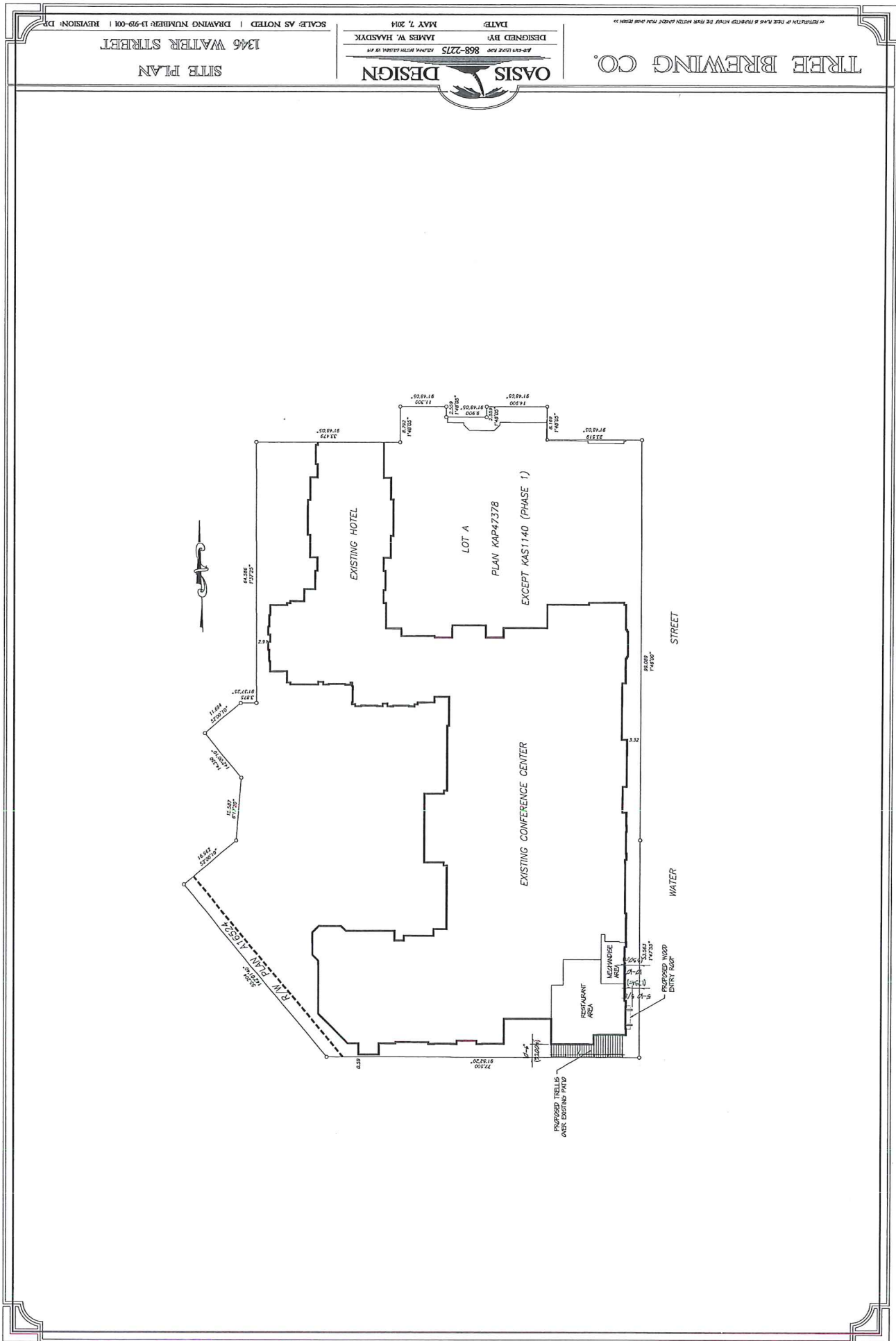
ISSUED BY THE URBAN PLANNING DEPARTMENT OF THE CITY OF KELOWNA THE ____ DAY OF _____, 2014 BY THE DIVISIONAL DIRECTOR OF COMMUNITY PLANNING & REAL ESTATE.

Doug Gilchrist, Divisional Director - Community Planning & Real Estate

→ Variance for trellis and Entry roof Feature.

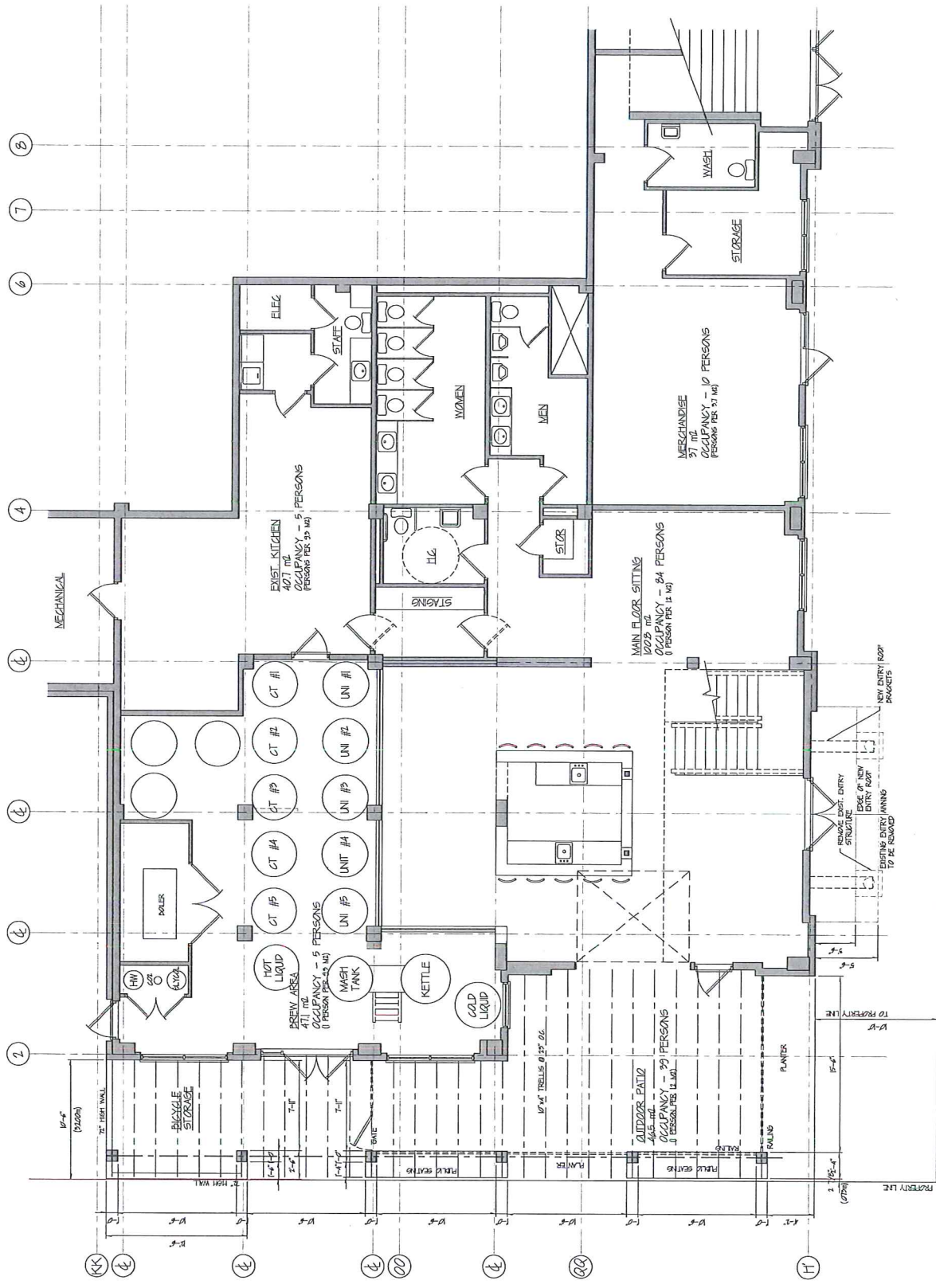


creativeROOTS
LANDSCAPING



DESIGN OASIS TREE BREWING CO.

DATE: MAY 7, 2014
 DESIGNED BY: JAMES W. HAASDYK
 868-2275
 1346 WATER STREET
 SCALE: AS NOTED | DRAWING NUMBER: 13-99-001 | REVISION: DP

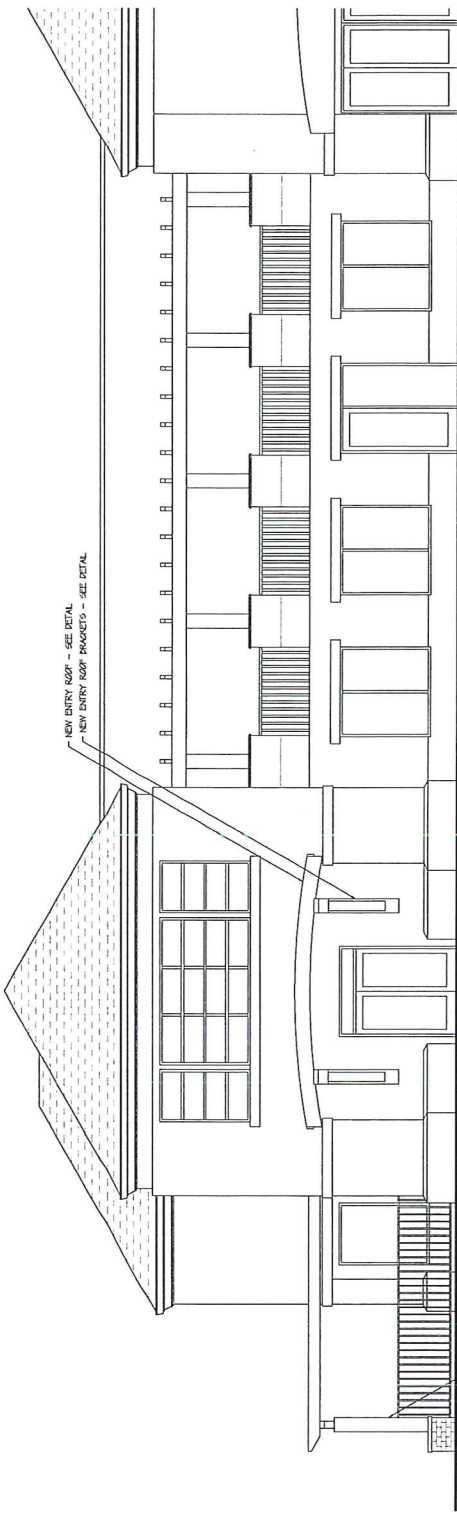


UPPER FLOOR PLAN
AND EAST ELEVATION
1346 WATER STREET

SCALE AS NOTED | DRAWING NUMBER 13-919-003 | REVISION: D

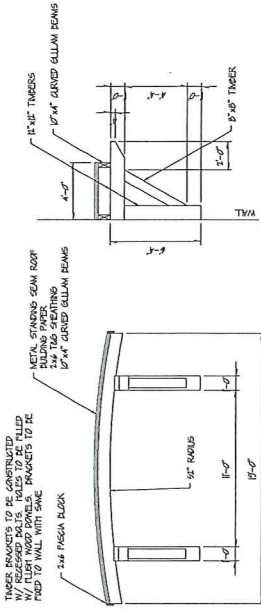
OASIS DESIGN
DESIGNED BY: JAMES W. HAASDYK
DATE: MAY 7, 2014

TREE BREWING CO.



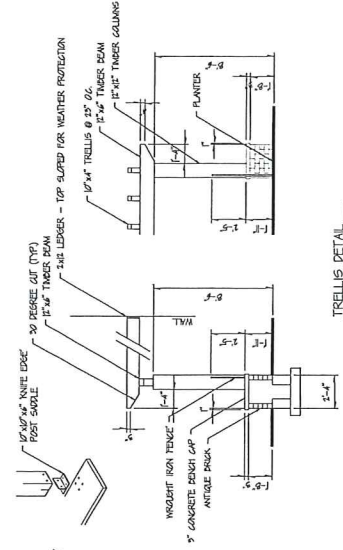
EAST ELEVATION
1/4" = 1'-0"

SOUTH ELEVATION
1/4" = 1'-0"



TIMBER BRACKETS TO BE CONSTRUCTED W/ FLUSH WOOD PANELS. BRACKETS TO BE PAD'D TO WALL WITH SAME.

ENTRY ROOF DETAIL
1/4" = 1'-0"



TRELLIS DETAIL
1/4" = 1'-0"

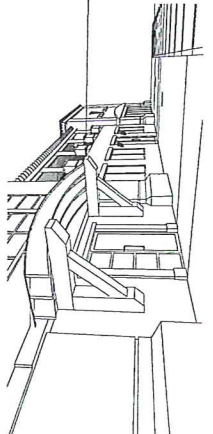
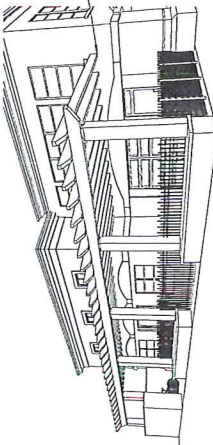
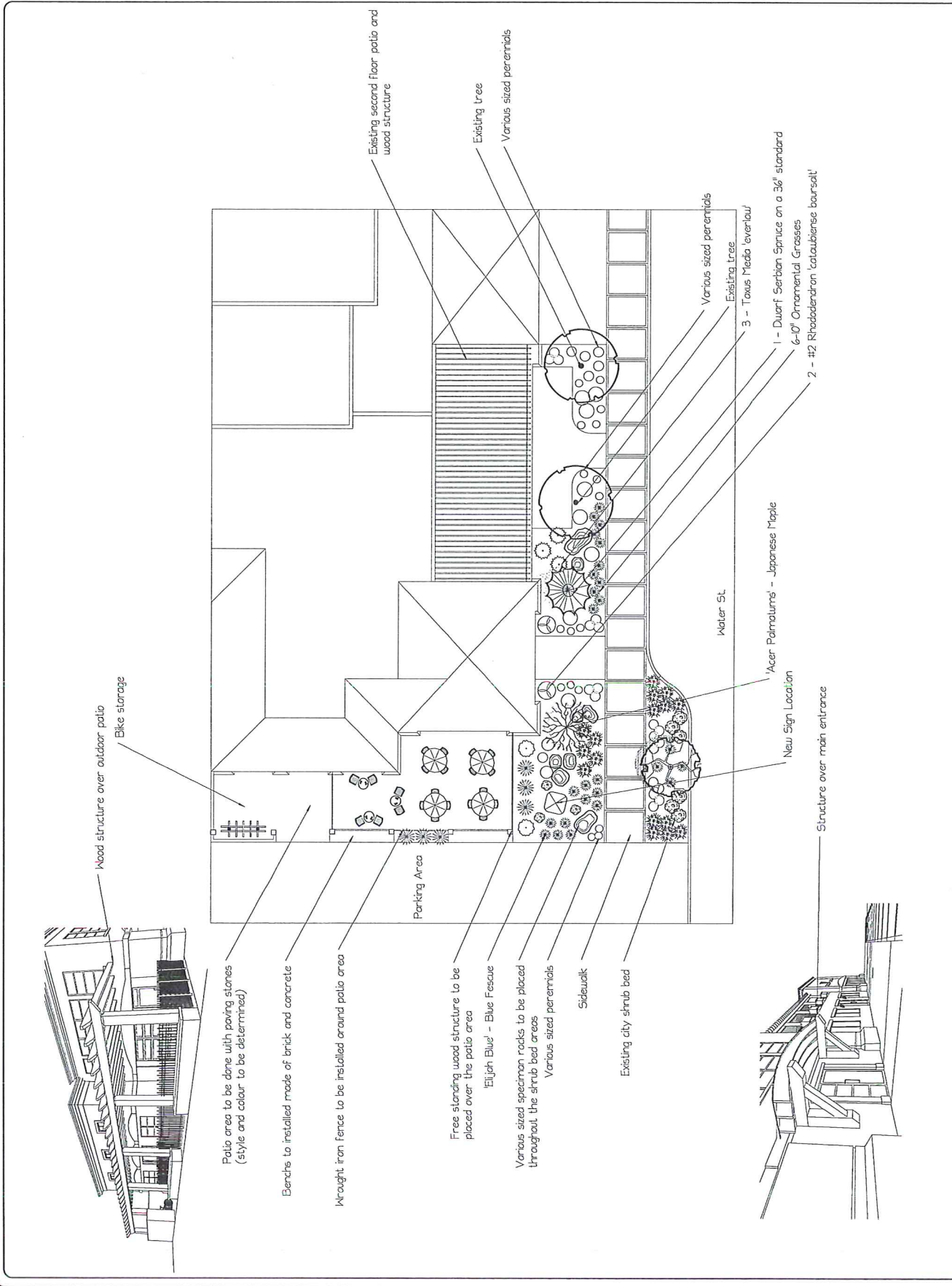
NOTES

No.	Date	Revisions

Creative Roots Landscaping

SCALE	1" = 8'
DRAWN BY	TRISH WERTHER
CHECKED BY	
DATE	February 26th 2008
DATE OF REVISION	

Project No. 08-001



REPORT TO COUNCIL



Date: 7/15/2014
RIM No. 0940-40
To: City Manager
From: Urban Planning (AW)
Application: DP14-0093 / DVP14-0094 **Owner:** City of Kelowna
Address: 460 Doyle Avenue **Applicant:** Meiklejohn Architects
Subject: Development & Development Variance Permits
Existing OCP Designation: Mixed Use (Residential / Commercial)
Existing Zone: C7 - Central Business Commercial

1.0 Recommendation

THAT Council authorize the issuance of Development Permit No. DP14-0093 for Lot 4 District Lot 139, ODYD, Plan KAP57837, located at 460 Doyle Avenue, Kelowna B.C., subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in general accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land be in general accordance with Schedule "B";
3. Landscaping to be provided on the land be in general accordance with Schedule "C".
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a professional landscaper and for the public art program;
5. The execution of the Servicing Agreement and associated bonding to the satisfaction of the Development Engineering Department prior to issuance of a Development Permit;
6. The Library Laneway along the western edge of the subject property is designed to a standard that functions to the satisfaction of the Development Engineering Department prior to issuance of a Development Permit;
7. Upon confirmation of a detailed survey the building be adjusted so as not to trespass over the subject property lines at grade;
8. Any requirements of the Ministry of Transportation and Infrastructure being completed to their satisfaction;
9. The execution of an air space parcel agreement to accommodate the building encroachment over the City's lane;

10. The execution of a parkade license agreement with the City to accommodate the off-site parking ;
11. The execution of a public access easement and a tri-party agreement between the Developer, the Okanagan Regional Library and the City of Kelowna to ensure public access between the proposed development and the library should it prove feasible;
12. That Cash-in-Lieu of the required parking (\$3,417,500.00) be provided prior to issuance of the Development Permit.

AND FURTHER THAT the applicant be required to complete the above-noted condition No. 4 within 180 days of Council approval of the Development Permit Application in order for the permit to be issued;

AND THAT Council authorize the issuance of Development Variance Permit No. DVP14-0094 for Lot 4 District Lot 139, ODYD, Plan KAP57837, located at 460 Doyle Avenue, Kelowna, B.C.;

AND FURTHER THAT variances to the following sections of Zoning Bylaw No. 8000 be granted:

Table 8.2 - Loading Schedule:

Vary the loading stall requirement from 4 stalls required to 0 stalls provided.

Section 14.7.5 (d) Development Regulations - Rear Yard Setback:

Vary the rear yard (lane) setback from 0.0 m permitted to -4.4 m proposed.

Section 14.7.5 (e) Development Regulations - Setbacks above 15m:

Vary the setback for portions of a building above 15 m along Doyle Avenue from 3.0 m required to 0.0 m proposed.

Section 14.7.5 (f) Development Regulations - Setbacks above 15m:

Vary the setback for portions of a building above 15 m abutting another property from 4.0 m required to 0.0 m.

Section 14.7.5 (g) Development Regulations - 80° Inclined Angle:

Vary the inclined plane above 15 m from 80° permitted to 90° for the south and east elevations.

Section 14.7.5 (h) Development Regulations - Floor Plate Area:

Vary the maximum floor plate area above 15 m from 676 m² permitted to 1760.52 m² proposed.

Section 14.7.5 (i) Development Regulations - Horizontal Dimension Above 15m:

Vary the maximum horizontal dimension above 15 m from 26 m permitted to 64.5 m proposed.

Section 14.7.5 (j) Development Regulations - Diagonal Dimension Above 15m:

Vary the maximum diagonal dimension above 15 m from 39 m permitted to 70.18 m proposed.

Section 14.7.5 (l) (i) Development Regulations - Setbacks above 22m:

Vary the building setback from an interior lot line for portions of a building above 22 m from 15 m required to 0.0 m proposed.

Section 14.7.5 (l) (ii) Development Regulations - Setbacks above 22m:

Vary the building setback from a lot line abutting a lane for portions of a building above 22 m from 10m required to -4.4 m proposed;

2.0 Purpose

To consider a Development Permit and Development Variance Permit for the six storey Okanagan Centre for Innovation proposal.

3.0 Urban Planning Department

Urban Planning Staff are supportive of the proposal, as it is seen to meet the objectives and supporting policies of the Official Community Plan (OCP), as well as the applicable urban design guidelines. Both the OCP and the Downtown Plan support commercial development on the site as part of a broader effort to encourage densification and increased activity in Kelowna's downtown. The policy direction provided in these documents supports development of up to 12 storeys. The applicant team has come forward with a very strong proposal that meets the needs of the proponent, while responding creatively and thoroughly to the site's contextual challenges.

To ensure a high quality urban environment, significant ground level retail space will be designed along each street frontage. Circulation within the project has been planned to ensure that connections between the proposed development and the Library are possible. These connection points would enhance both facilities and offer the shared resources of each building to the other. The technical details are still being worked out but the goal is to create this connection.

This project would be one of the first downtown buildings that would have a completely active first floor without having to conceal under building parking, this will create a very strong and vibrant streetscape. The applicant will be paying cash in lieu which will go towards additional parking at the memorial parkade which would be built in coordination with the proposed IHA office building. Being situated squarely in the downtown core directly south of the Kelowna Library downtown branch the proposed development is surrounded by pedestrian, vehicular and transit routes and infrastructure. The proposed City parkades offer vehicular parking while the central location makes the project easily accessible by active modes of transportation.

This retail space works toward making the street a more pedestrian friendly space and contributes to enhancing the commercial / retail viability of Ellis Street and Doyle Avenue. While the project does create a strong streetscape with an additional setback along Ellis Street, it doesn't provide the desired plaza space at the Doyle Avenue and Ellis Street intersection as outlined in the Ellis Streetscape Plan (included as attachment). Staff had advocated for this plaza treatment which would be coordinated with the plaza space in front of the Madison and the proposed IHA office building. While the additional Ellis Street setback does help preserve views to the library roofline and create a larger pedestrian area the inclusion of the corner plaza treatment would have helped achieve the City's vision for this important intersection. Staff are concerned that the applicant has not addressed this with enough design detail.

The proposed variances are primarily due to the mid rise form of development which doesn't fit within the high rise form of development prescribed in the C7 zone. The C7 zone allows for a podium and tower development which can be difficult to achieve for office buildings. Although a number of variances are proposed, overall the proposed mid rise massing is still sensitive to the context and will be a positive addition to the Downtown Urban Centre. By not approaching the 12 storey height limit, outlined in the OCP, and using a larger floor plate the project impacts fewer views from adjacent properties.

4.0 Proposal

4.1 Project Description

The proposed development takes inspiration from the iconic downtown library. By drawing on the design features of the library the proposed development makes reference to the design context. The reds of the Library’s concrete blocks are picked up in the hues of the cement panel bands and the projected window boxes that define the curved elevation of the library are referenced through a pattern of wood glazed projections adjacent to recessed glazing that make up the majority of the level 2 exterior elevations. The use of wood was integral to softening the strong lines of the proposed development and the return walls and soffits of most of the projected wrappers and canopies are lined in wood. The 3 strong vertical elements along the south, east and west elevations are composed of three glue laminated columns. The intent is to match the wood stain of the proposed developments woodwork to that of the library. The building will project over the library lane on the western building frontage. This has allowed enough floor area to make the project feasible on what is a small site for a building of this scale.

Proposed retail storefronts and restaurant / patio space at grade along the project’s south frontage will help extend the Ellis Street streetscape west along Doyle Avenue. The larger Ellis Street setback on the east side of the project was provided to preserve views to the library roof line and create an enhanced pedestrian experience along Ellis Street. Although the large Ellis St. setback was provided, the applicant didn’t adhere to the Doyle Ave / Ellis St intersection setbacks encouraged by the Ellis Street Streetscape plan.

Circulation within the project has been carefully planned to ensure that future connections between the level 1 and possibly 2 main circulation paths and spaces and the existing library can be made. These connection points would enhance both facilities and offer the shared resources of each building to the other. The level 1 atrium is the hub of the project and the generous corridors that lead into it from Doyle and Ellis have been located to allow the north-south axis to extend directly into the main central circulation path of the existing library level 1 floor plan. While the details of this connection are still being worked out, the goal is for the connection to be created unless a more detailed review reveals unanticipated consequences.

The applicant will be providing cash-in-lieu of the required 128 onsite parking spaces. The cash-in-lieu payment will be as follows:

- \$35,000 (construction cost) per stall for 43 stalls (\$1,505,000) to City of Kelowna
- \$22,500 (cash in lieu) per stall for 85 stalls (\$1,912,500) to City of Kelowna
 - Total 128 stalls cost: **\$3,417,500.00**
- Lease 120 stalls in the proposed Memorial Parkade at the current monthly rate.

Variances have been requested as part of the development proposal, they have been summarized in the following table:

Zoning Analysis Table		
CRITERIA	C7 ZONE REQUIREMENTS	PROPOSAL
Development Regulations		
Floor Area Ratio	9.0	4.9

Height	44.0 m	6 storeys / 30 m
Front Yard (Ellis)	0.0 m	3.31 m
Side Yard (Library)	0.0 m	0.0 m
Side Yard (Doyle)	0.0 m	0.0 m
Rear Yard (Lane)	0.0 m	-4.4 m ❶
Setback above 15.0 m: - Abutting a street	3.0 m	3.31 m (Ellis) 0.0 m (Doyle) ❷
Setback above 15.0 m: Abutting property line	4.0 m	0.0 m (Library) ❸
Setback above 22.0 m: - From an internal lot line	15.0 m	0.0 m ❹
- From a lane	10.0 m	-4.4 m ❺
80° Sun angle above 15 m	80°	90° ❻
Floor Plate Area above 15m	676.0 m ²	1760.52 m ² ❼
Max horiz. dimension above 15m	26.0 m	64.5 m ❸
Max. Diagonal dim. above 15m	39.0 m	70.18 m ❹
Other Regulations		
Minimum Parking Requirements	128 stalls	Cash-in-lieu
Bicycle Parking	16 Class I	16 Class I
	48 Class II	48 Class II
Loading Space	4 spaces	0 spaces ❿
❶ Vary the rear yard (lane) setback from 0.0 m permitted to -4.4 proposed. ❷ Vary the setback for portions of a building above 15 m along Doyle Avenue from 3.0m required to 0.0 m. ❸ Vary the setback for portions of a building above 15 m abutting another property from 4.0m required to 0.0 m. ❹ Vary the building setback from an interior lot line for portions of a building above 22 m from 15 m required to 0.0 m proposed. ❺ Vary the building setback from a lot line abutting a lane for portions of a building above 22 m from 10m required to -4.4 m proposed; ❻ Vary the inclined plane above 15m from 80° permitted to 90° for the south and east elevations. ❼ Vary the maximum floor plate area above 15 m from 676 m ² permitted to 1760.52 m ² proposed. ❸ Vary the maximum horizontal dimension above 15 m from 26 m permitted to 64.5 m proposed. ❹ Vary the maximum diagonal dimension above 15 m from 39 m permitted to 70.18 m proposed. ❿ Vary the loading stall requirement from 4 stalls required to 0 stalls provided.		

4.2 Site Context

The subject property is located within Downtown Urban Centre immediately south of the public library. Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	C7 - Business Centre Commercial	Public Library
East	C7 - Business Centre Commercial	Mixed Use (Residential / Commercial)
South	P1 - Major Institutional	Memorial Arena
West	P1 - Major Institutional	RCMP Detachment

Subject Property Map: 460 Doyle Avenue



5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Development Process

Compact Urban Form.¹ Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

Ensure appropriate and context sensitive built form.²

Public Space.³ Integrate safe, high-quality, human-scaled, multiuse public spaces, such as parks, plazas and squares, as part of development or redevelopment within Urban and Village Centres.

¹ City of Kelowna Official Community Plan, Policy 5.3.2 (Development Process).

² City of Kelowna Official Community Plan, Objective 5.5 (Development Process).

Ensure that Urban Centres develop as vibrant commercial nodes.⁴

Encourage uses and commercial ventures that promote local tourism.⁵

Sustainable Prosperity.⁶ Assign priority to supporting the retention, enhancement and expansion of existing businesses and post secondary institutions and the attraction of new businesses and investment identified as bringing sustainable prosperity to Kelowna.

5.1.1 Urban Design Development Permit Areas (Chapter 14) - Revitalization Design Guidelines

Objectives

- Use appropriate architectural features and detailing of buildings and landscapes to define area character;
- Convey a strong sense of authenticity through high quality urban design that is distinctive of Kelowna;
- Enhance the urban centre’s main street character in a manner consistent with the area’s character;
- Provide for a scale and massing of buildings that promotes an enjoyable living, pedestrian, working, shopping and service experience;
- Design and facilitate beautiful public open spaces that encourage year-round enjoyment;
- Create open, architecturally-pleasing and accessible building facades to the street; and
- Improve existing streets and sidewalks to promote alternative transportation.

Downtown Considerations

- Articulate the street façade in a vertical rhythm that is consistent with the traditional subdivision pattern (i.e., maintain the character of narrow buildings and storefronts through changing materials, patterns, reveals, setbacks, façade portions, or design elements to maintain façade widths);
- Incorporate a level of detailing that conveys a sense of craftsmanship consistent with the era in which original downtown buildings were built (i.e., incorporate architectural features such as quoins, traditional brick patterns, pediments, keystones, recessed entrances, etc.);
- Windows should be set back from the building face (as opposed to flush) and include headers and sills;
- Windows at street level should keep the sills low for displays of retail goods and for high visibility into interior spaces;
- Upper floor windows should have vertical proportions where the height is at a minimum, 1.5 times the width;
- Brick and cut stone are preferred building materials, where appropriate. Materials should emulate a range of colours found on prominent buildings located Downtown;
- Incorporate high quality signage utilizing traditional size, style, fonts and design. Prominent and colourful signage creating a rich visual character is encouraged, however, illuminated signs in fluorescent colours are discouraged.

³ City of Kelowna Official Community Plan, Policy 5.8.1 (Development Process).

⁴ City of Kelowna Official Community Plan, Objective 5.25 (Development Process).

⁵ City of Kelowna Official Community Plan, Objective 5.26 (Development Process).

⁶ City of Kelowna Official Community Plan, Policy 8.1.1 (Economic Development).

6.0 Technical Comments

6.1 Building & Permitting Department

- Development Cost Charges (DCC's) are required to be paid prior to issuance of any Building Permit(s)
- Placement permits are required for any sales or construction trailers that will be on site. The location(s) of these are to be shown at time of development permit application.
- A Hoarding permit is required and protection of the public from the staging area and the new building area during construction. Location of the staging area and location of any cranes should be established at time of DP.
- A Building Code analysis is required for the structure at time of building permit applications, but the following items may affect the form and character of the building(s):
 - Any security system that limits access to exiting needs to be addressed in the code analysis by the architect.
 - Access to the roof is required per NFPA and guard rails may be required and should be reflected in the plans if required.
 - The code analysis is to address the amount of glazing between existing building and the new building or an alternative solution needs to be accepted by the Chief Building Inspector in lieu
 - The code analysis is also to address the interconnected floor space per the prescriptive requirements of the code or an alternative solution needs to be accepted by the Chief Building Inspector in lieu
- A Geotechnical report is required to address the sub soil conditions and site drainage at time of building permit application.
- Guards are required for all decks. The drawings provided don't clearly identify these requirements, but will be reviewed at time of building permit application.
- Fire resistance ratings are required for storage, janitor and/or garbage enclosure room(s). The drawings submitted for building permit is to clearly identify how this rating will be achieved and where these area(s) are located.
- An exit analysis is required as part of the code analysis at time of building permit application. The exit analysis is to address travel distances within the units, number of required exits per area
- Washroom requirements for base building are to be addressed in the building permit application.
- Size and location of all signage to be clearly defined as part of the development permit. This should include the signage required for the building addressing to be defined on the drawings per the bylaws on the permit application drawings.
- Full Plan check for Building Code related issues will be done at time of Building Permit applications.

6.2 Development Engineering Department

See Attached.

6.3 Fire Department

- Construction fire safety plan is required to be submitted and reviewed prior to construction and updated as required.
- Engineered Fire Flow calculations are required to determine Fire Hydrant requirements as per the City of Kelowna Subdivision Bylaw #7900.
- One visible address for the building must be posted as per City of Kelowna By-Laws

- Sprinkler drawings are to be submitted to the Fire Dept. for review when available.
- A fire safety plan as per section 2.8 BCFC is required at occupancy. The fire safety plan and floor plans are to be submitted for approval in AutoCAD Drawing format on a CD or DVD to facilitate Fire Department pre-planning for this structure. The fire safety plan should clearly detail the unique requirements for this structure. A copy of the sprinkler system owner's certificate is to be included in the fire safety plan. A building code analysis shall be included.
- Fire Department steel lock box or key tube acceptable to the fire dept. is required by the fire dept. entrance. Kurt's Lock & Safe at 100A - 1021 Ellis Street, Kelowna is the approved supplier for flush mount lock boxes.
- All requirements of the City of Kelowna Fire and Life Safety Bylaw 10760 shall be met,
- Fire alarm system is to be monitored by an agency meeting the CAN/ULC S562 Standard.
- Contact Fire Prevention Branch for fire extinguisher requirements and placement.
- Fire department connection is to be within 45M of a fire hydrant - please ensure this is possible and that the FD connection is clearly marked and visible from the street.

7.0 Application Chronology

Date of Application Received: May 16th, 2014
Applicant's Public Info Meeting: May 28th, 2014

Report prepared by:

Alec Warrender, Urban Planner

Reviewed by:

Ryan Smith, Manager, Urban Land Use

Approved for Inclusion

D. Gilchrist, Div. Dir. of Community Planning and Real Estate

Attachments:

Subject Property Map
Site Plan
Conceptual Elevations
Landscape Plan
Development Engineering memo
Ellis Streetscape Plan
Applicant's Design Rational Report
Applicant's Report on Neighbour Consultation

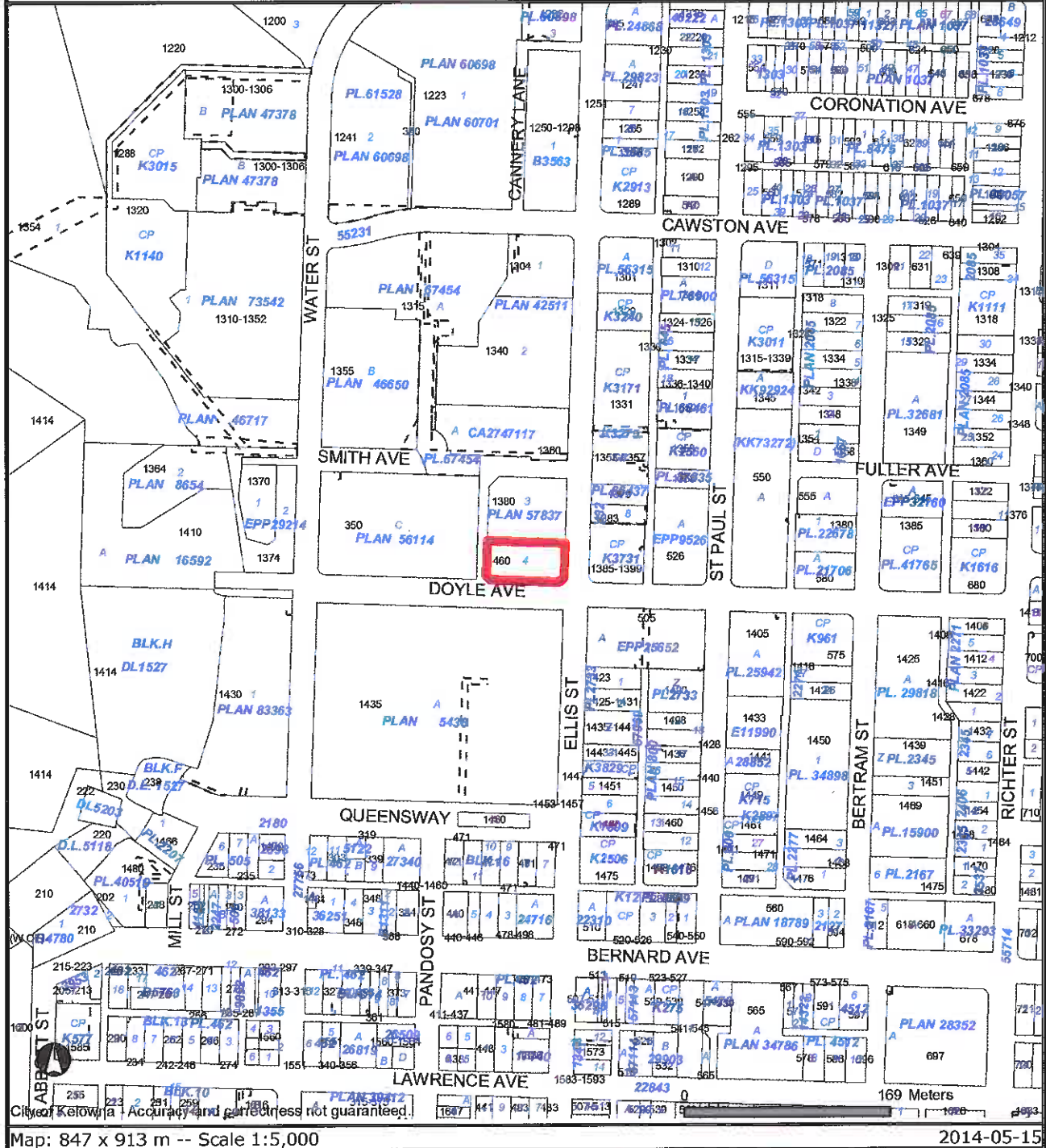
ADDRESS

DP14-0093

DVP13-0094



Subject Property



Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only. The City of Kelowna does not guarantee its accuracy. All information should be verified.

INNOVATIVE OFFICE MIXED-USE COMPLEX




460 DOYLE AVENUE, KELOWNA B.C.
LOT 4 DISTRICT LOT 139 OSOV005 DIVISION VALE DISTRICT PLAN KAP57837

ISSUED FOR DEVELOPMENT PERMIT
2014-05-12

SCHEDULE A
This forms part of development
Permit # DP14-0093 / DU14-0094

ARCHITECTURAL



MEIKLEJOHN ARCHITECTS INC.

460 DOYLE AVENUE, KELOWNA B.C.
V1Y 1S1
TEL: 250.860.2525
WWW.MMKM.COM

A001	COVER SHEET & DRAWING LIST
A101	GENERAL NOTES
A102	SECTION ELEVATIONS
A103	SECTION ELEVATIONS
A104	SECTION ELEVATIONS
A105	SECTION ELEVATIONS
A106	SECTION ELEVATIONS
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A119	SECTION ELEVATIONS
A120	SECTION ELEVATIONS

STRUCTURAL



CWMM CONSULTING
INCORPORATED
460 DOYLE AVENUE, KELOWNA B.C.
V1Y 1S1
TEL: 250.860.2525
WWW.CWMM.COM

MECHANICAL



INTEGRAL GROUP
215 BROADVIEW AVENUE, KELOWNA B.C.
V1Y 1S1
TEL: 250.860.2525
WWW.INTEGRALGROUP.COM

LANDSCAPE



Goldier Associates
215 BROADVIEW AVENUE, KELOWNA B.C.
V1Y 1S1
TEL: 250.860.2525
WWW.GOLDIER.COM



MEIKLEJOHN ARCHITECTS INC.

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VANCOUVER, B.C.
V6C 2K5
TEL: 604.681.2115
WWW.MMKM.COM
EMAIL: MEIKLEJOHN@MMKM.COM
330 BROADVIEW AVENUE
KELOWNA, B.C.
V1Y 1S1
TEL: 250.860.2525
WWW.CWMM.COM
215 BROADVIEW AVENUE
KELOWNA, B.C.
V1Y 1S1
TEL: 250.860.2525
WWW.INTEGRALGROUP.COM



NO.	DATE	REVISION	BY	CHKD.

**INNOVATIVE OFFICE
MIXED-USE COMPLEX**

460 DOYLE AVENUE, KELOWNA B.C.

A0.01

**COVER SHEET
& DRAWING LIST**

SCALE	AS SHOWN
DATE	2014-05-12
BY	MMKM
CHKD.	MMKM
NO.	35
TITLE	COVER SHEET & DRAWING LIST



1.01 Aerial View



1.02 Exterior View



1.03 Exterior View



1.04 Exterior View

Item	Description	Quantity	Unit	Material	Notes
1	Excavation	1500	sq ft	Class 1	See schedule 1.01
2	Foundation	1200	sq ft	Concrete	See schedule 1.02
3	Structural Steel	1000	sq ft	Steel Deck	See schedule 1.03
4	Interior Finishes	1500	sq ft	Various	See schedule 1.04
5	Exterior Finishes	1000	sq ft	Various	See schedule 1.05
6	Mechanical	1000	sq ft	Various	See schedule 1.06
7	Electrical	1000	sq ft	Various	See schedule 1.07
8	Plumbing	1000	sq ft	Various	See schedule 1.08
9	Fire Protection	1000	sq ft	Various	See schedule 1.09
10	Site Work	1000	sq ft	Various	See schedule 1.10

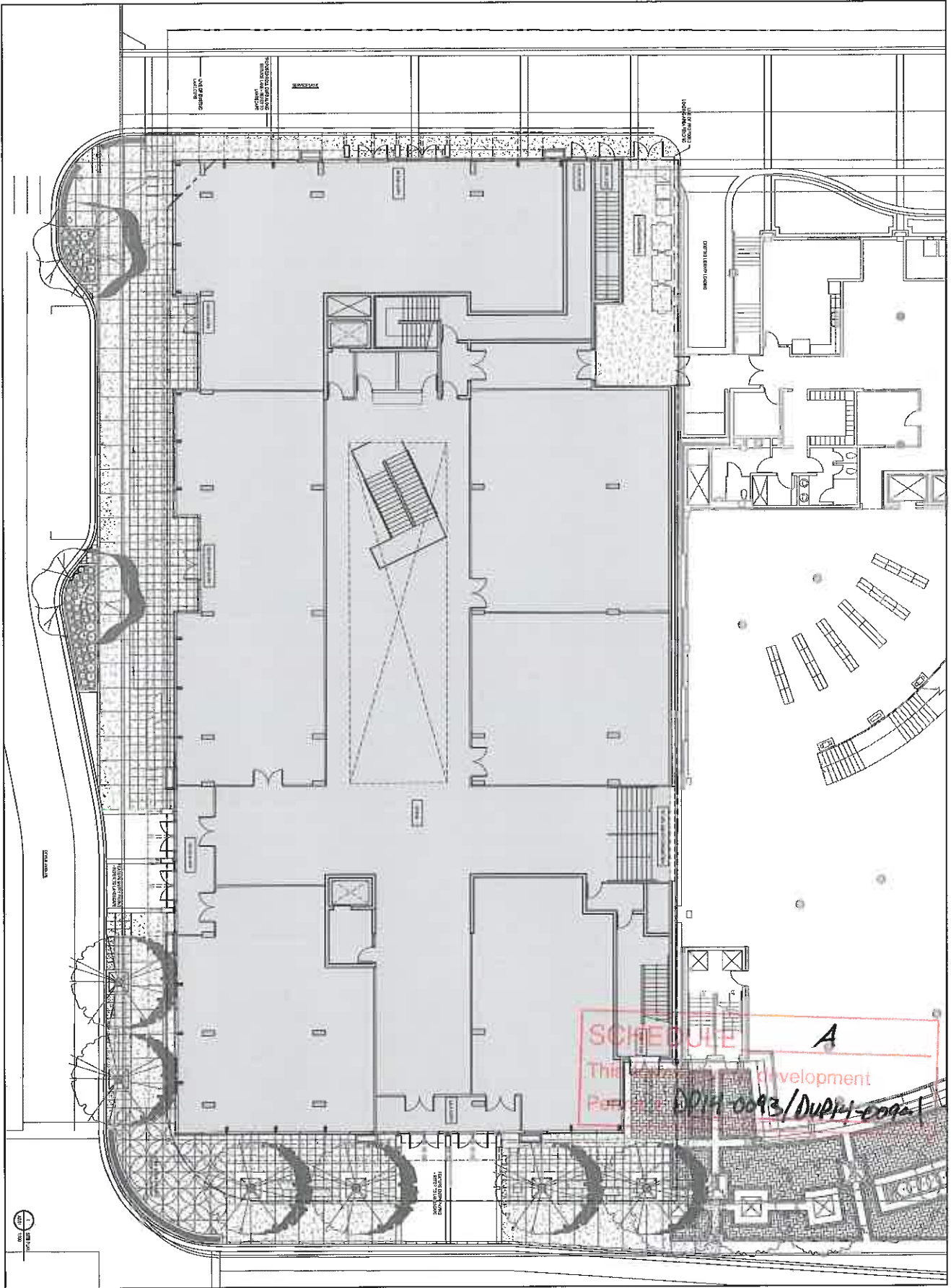
1.05 Schedule

SCHEDULE A
 This forms part of development
 Permit # **DUP14-0094 / DUP14-0094**

450 DON JENSEN BLVD, KENOSHA, WI 53140
 TEL: 920.393.3333
 FAX: 920.393.3333
 WWW.M+MA.COM

A1.01
 ZONING SUMMARY/
 PROJECT DATA

DATE: 11/14/14
 SCALE: 1/8" = 1'-0"
 DRAWN BY: [Name]



SCHEDULE A
 This site is a development
 Request: DP14-0093 / DUP14-0092

460 DODGE AVENUE, KENOSHA, WI

A2.01

SITE PLAN

DATE: 11/13/2014

SCALE: AS SHOWN

PROJECT: INNOVATIVE OFFICE MIXED-USE COMPLEX

DESIGNED AND DRAWN BY: MEIKLEJOHN ARCHITECTS, INC.

CHECKED BY: MEIKLEJOHN ARCHITECTS, INC.

DATE: 11/13/2014

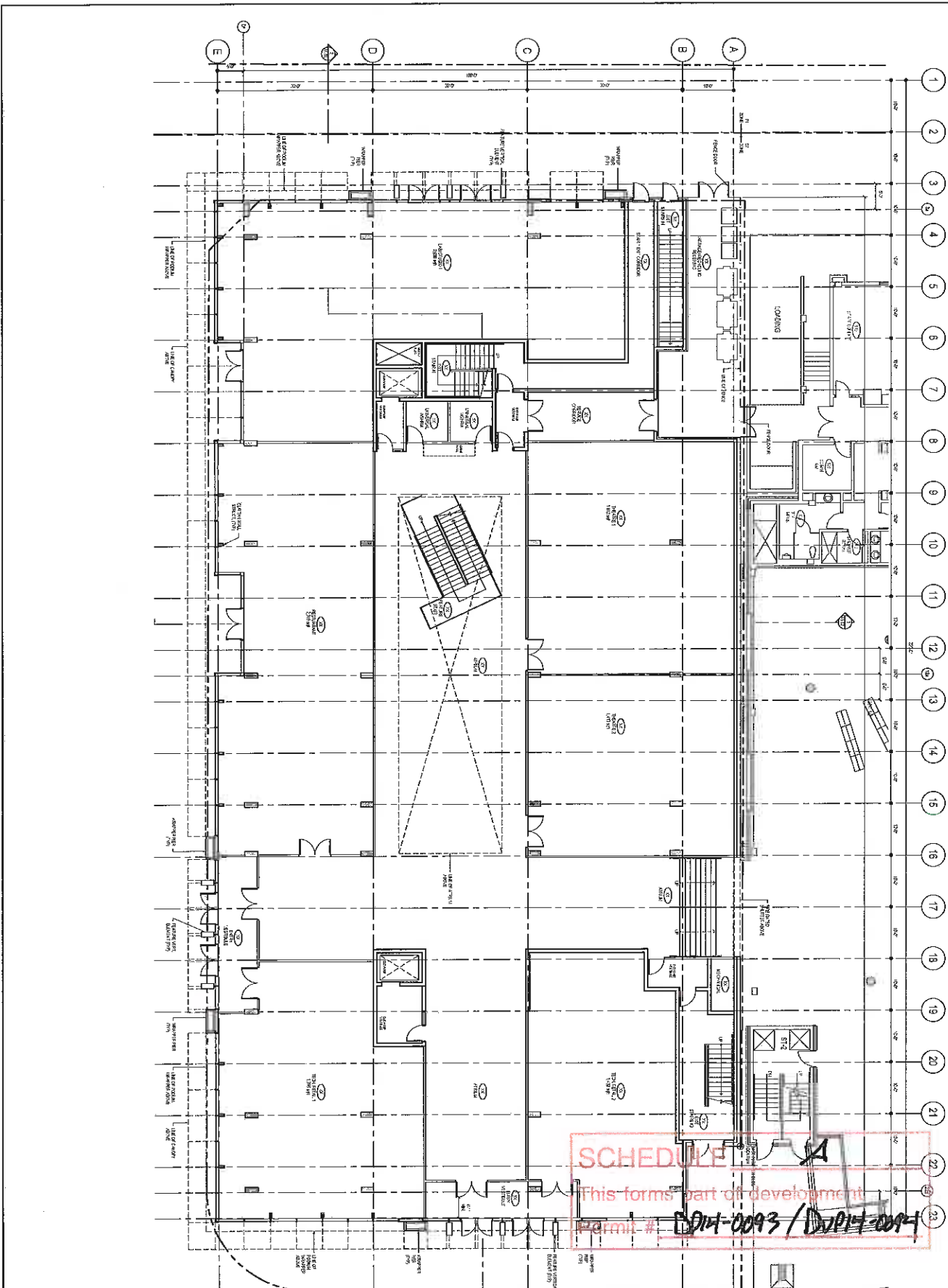
SCALE: AS SHOWN

PROJECT: INNOVATIVE OFFICE MIXED-USE COMPLEX



m+m a
MEIKLEJOHN ARCHITECTS, INC.

321 N. MILWAUKEE AVENUE
MILWAUKEE, WI 53233
TEL: 414.224.1100
FAX: 414.224.1100
WWW.MEIKLEJOHN.COM



SCHEDULE
This forms part of development
Permit # 0014-0093 / 0014-0094

DATE	REV.	BY
2014.05.20	1	AL
2014.05.20	2	AL
2014.05.20	3	AL
2014.05.20	4	AL
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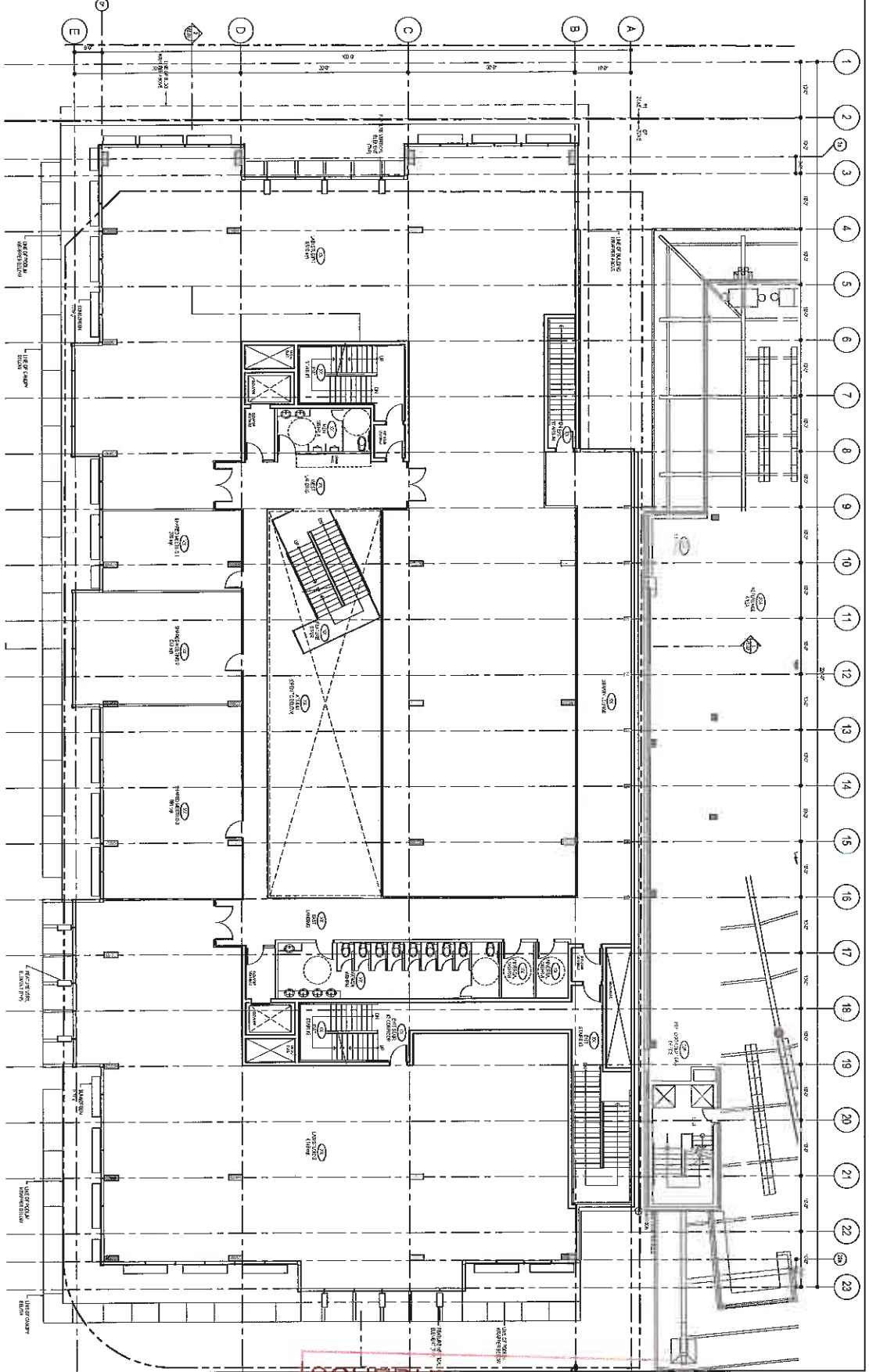
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LEVEL 1 FLOOR PLAN

460 DOWIE AVENUE, ROCKHILL, SC
INNOVATIVE OFFICE
MIXED-USE COMPLEX



m+m a
MEIKLEJOHN ARCHITECTS INC.

2014.05.20
MEIKLEJOHN ARCHITECTS INC.
1000 W. BROADWAY
SUITE 200
ROCKHILL, SC 29730
TEL: 803.326.2000
FAX: 803.326.2001
WWW.MEIKLEJOHN.COM



A3.02
 SECOND FLOOR PLAN

450 DOWLE AVENUE, FREDERICK, MD

INNOVATIVE OFFICE
 MIXED-USE COMPLEX

DATE: 11/13/14
 DRAWN: A3.02
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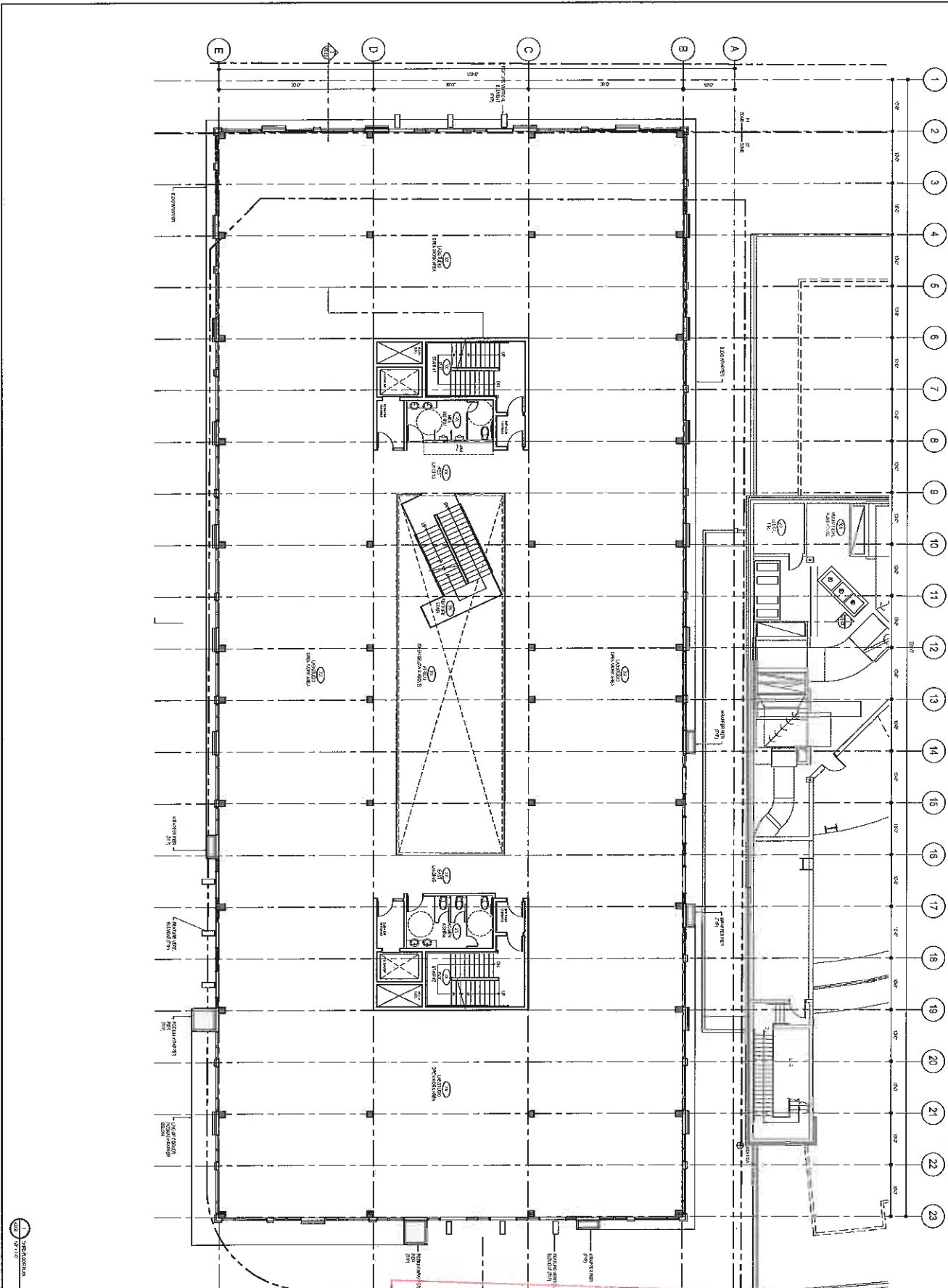
SCHEDULE A

This forms part of development permit # **DP14-0093 / DVP14-00941**

m+m a
 MEIKLEJOHN ARCHITECTS INC.

231 HILLWAY AVENUE
 FREDERICK, MD 21704
 TEL: 301.746.1000
 FAX: 301.746.1001
 EMAIL: INFO@MMARCH.COM

2014-15 FLOOR PLAN
 11/13/14
 11/13/14
 11/13/14



DATE	NO.	BY	REVISION
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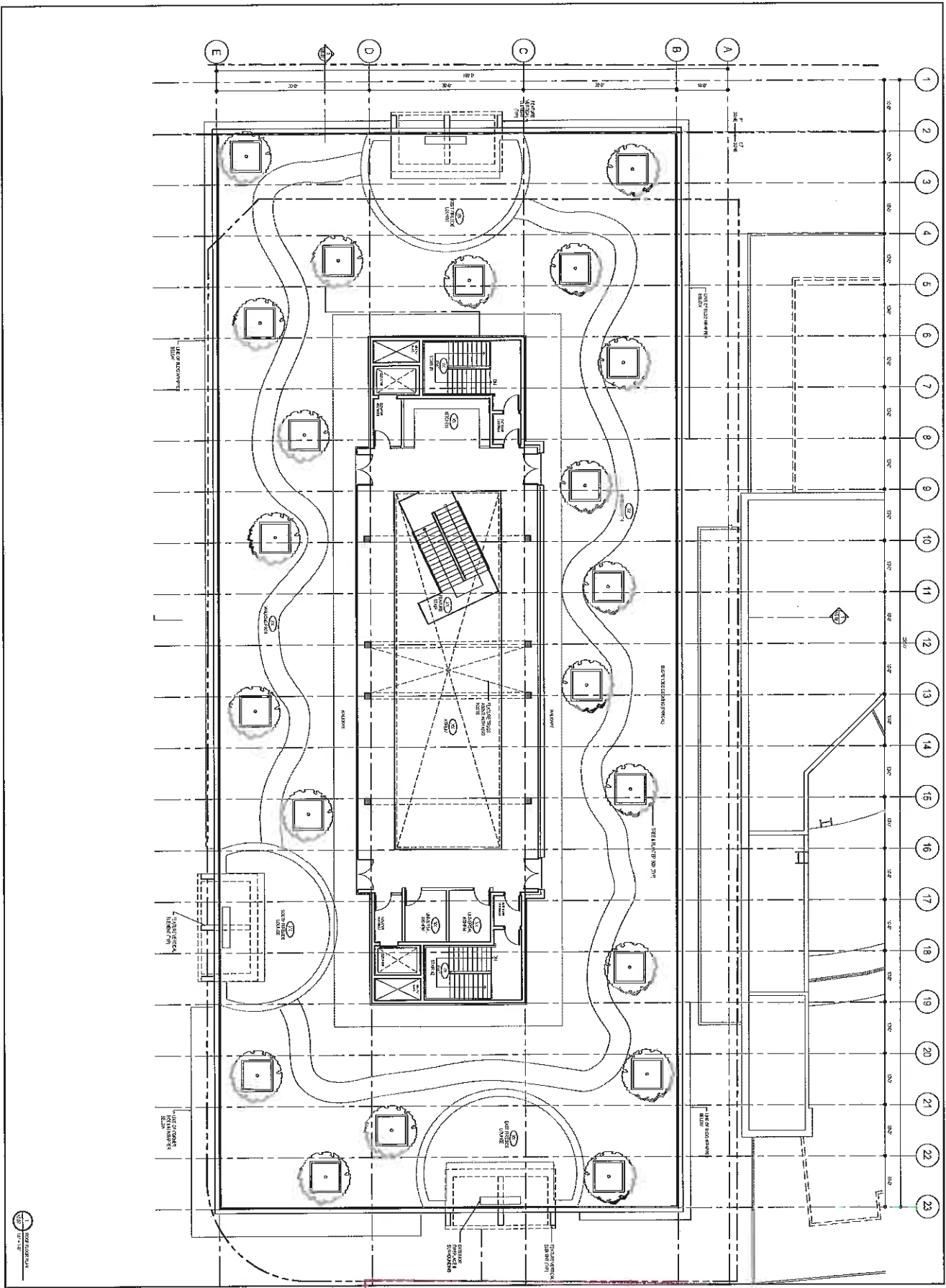
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480 DUNE MARQUE RESIDUAL PC
 INNOVATIVE OFFICE
 MIXED-USE COMPLEX

THIS FORMS PART OF DEVELOPMENT PERMIT # **DP14-0095 / DU14-0041**

SCHEDULE A

m+m a
 MEIKLEJOHN ARCHITECTS INC.



DATE	DESCRIPTION
NOV 14 2014	ISSUED FOR PERMIT
NOV 14 2014	ISSUED FOR PERMIT
NOV 14 2014	ISSUED FOR PERMIT

A3.07
 ROOF FLOOR PLAN

440 DOWLE AVENUE, KENNESAW, GA
 INNOVATIVE OFFICE
 MIXED-USE COMPLEX

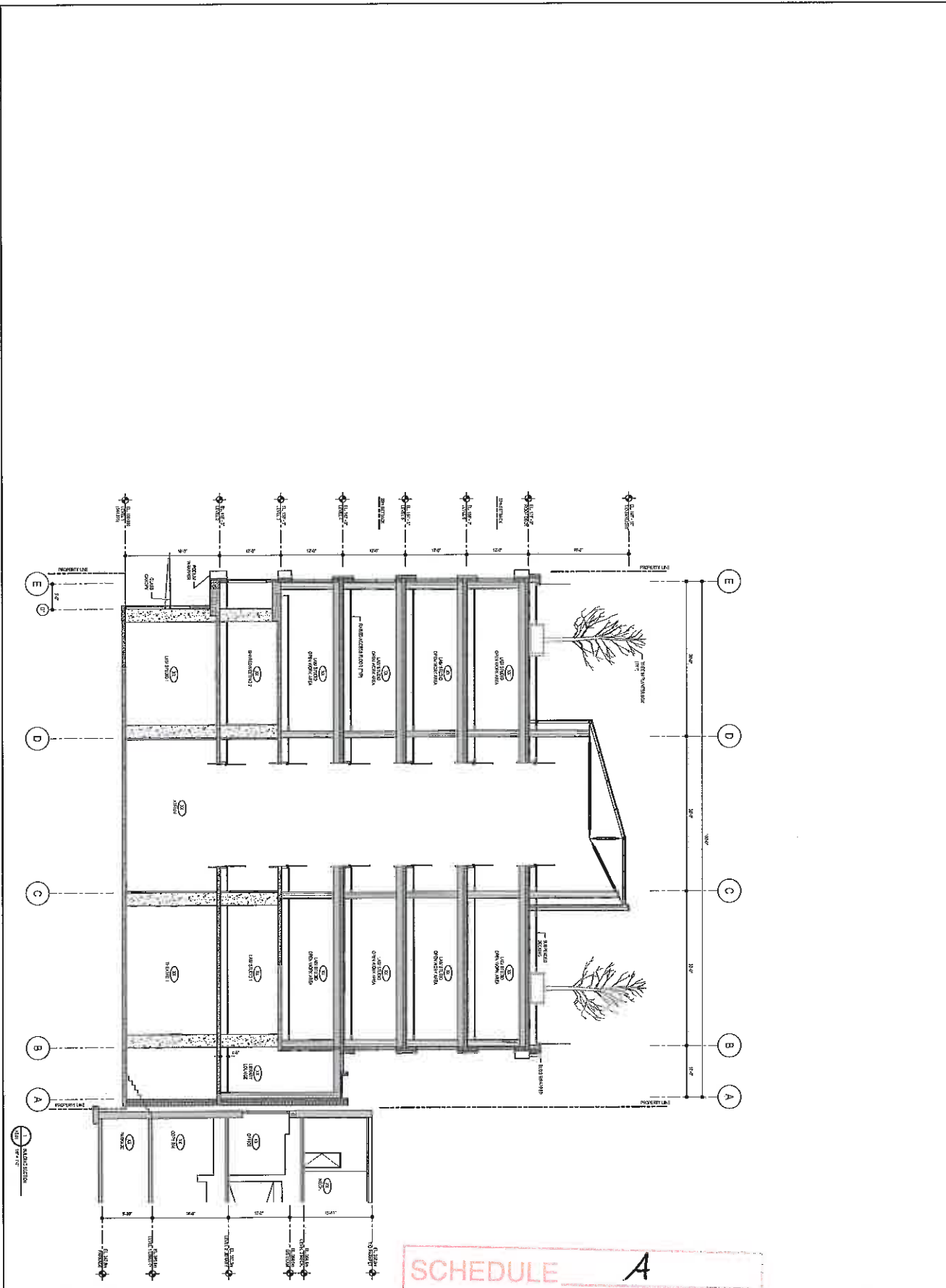
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SCALE	AS SHOWN
DESIGNED BY	MELODYN ARCHITECTS INC.
CHECKED BY	MELODYN ARCHITECTS INC.
DATE	NOV 14 2014

SCHEDULE A

This forms part of development
 Permit # **DP14-0093 / DUP14-0094**



MELODYN ARCHITECTS INC.
 440 DOWLE AVENUE
 KENNESAW, GA 30144
 TEL: 770.424.1111
 FAX: 770.424.1112
 WWW.MELODYNARCHITECTS.COM



SCHEDULE A

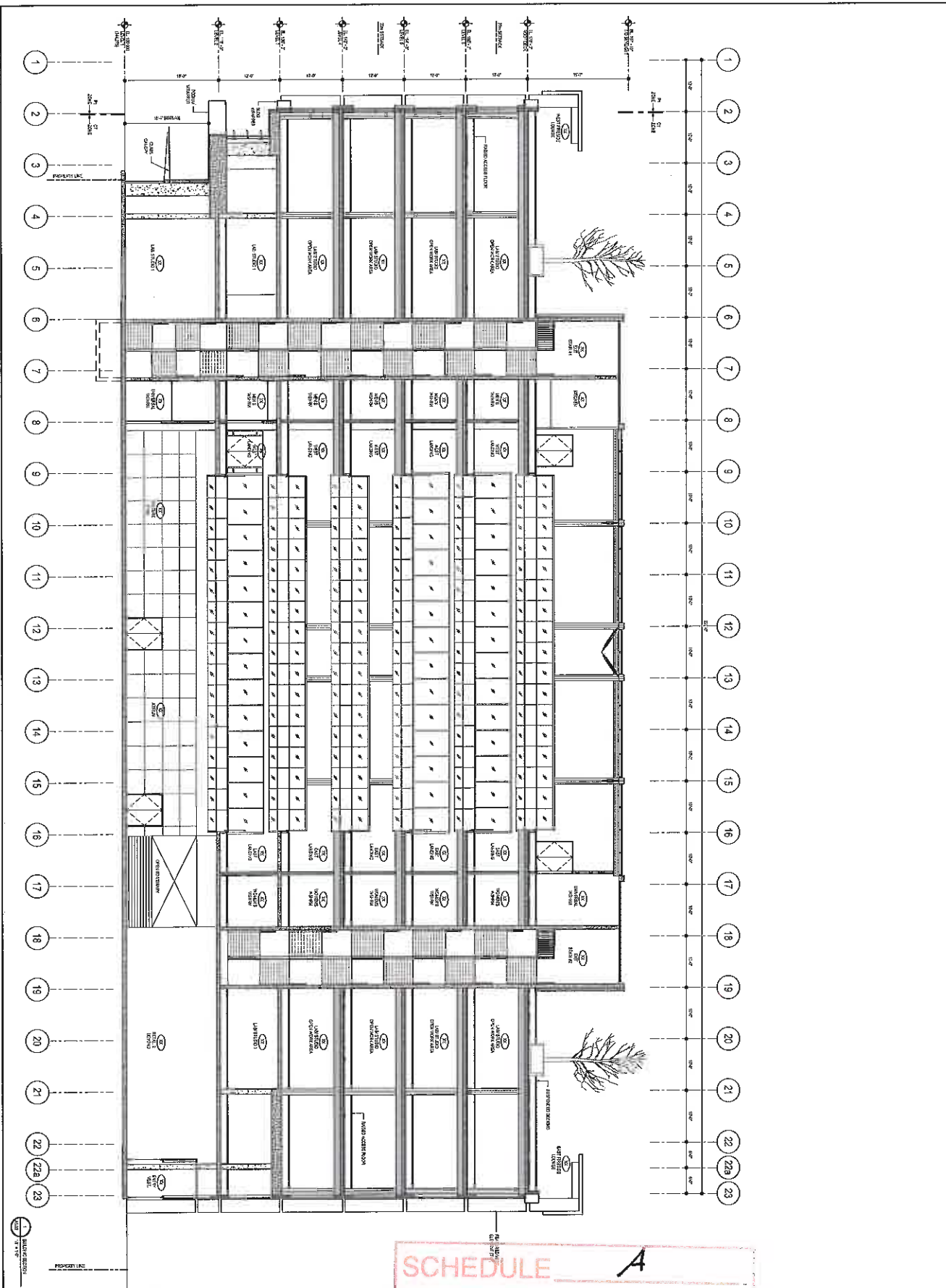
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 Permit # **DA14-0093 / DUPM-0094**



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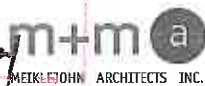
A5.01

BUILDING SECTIONS



SCHEDULE A

This forms part of development
 Permit # **DP14-0093 / DU14-0097**

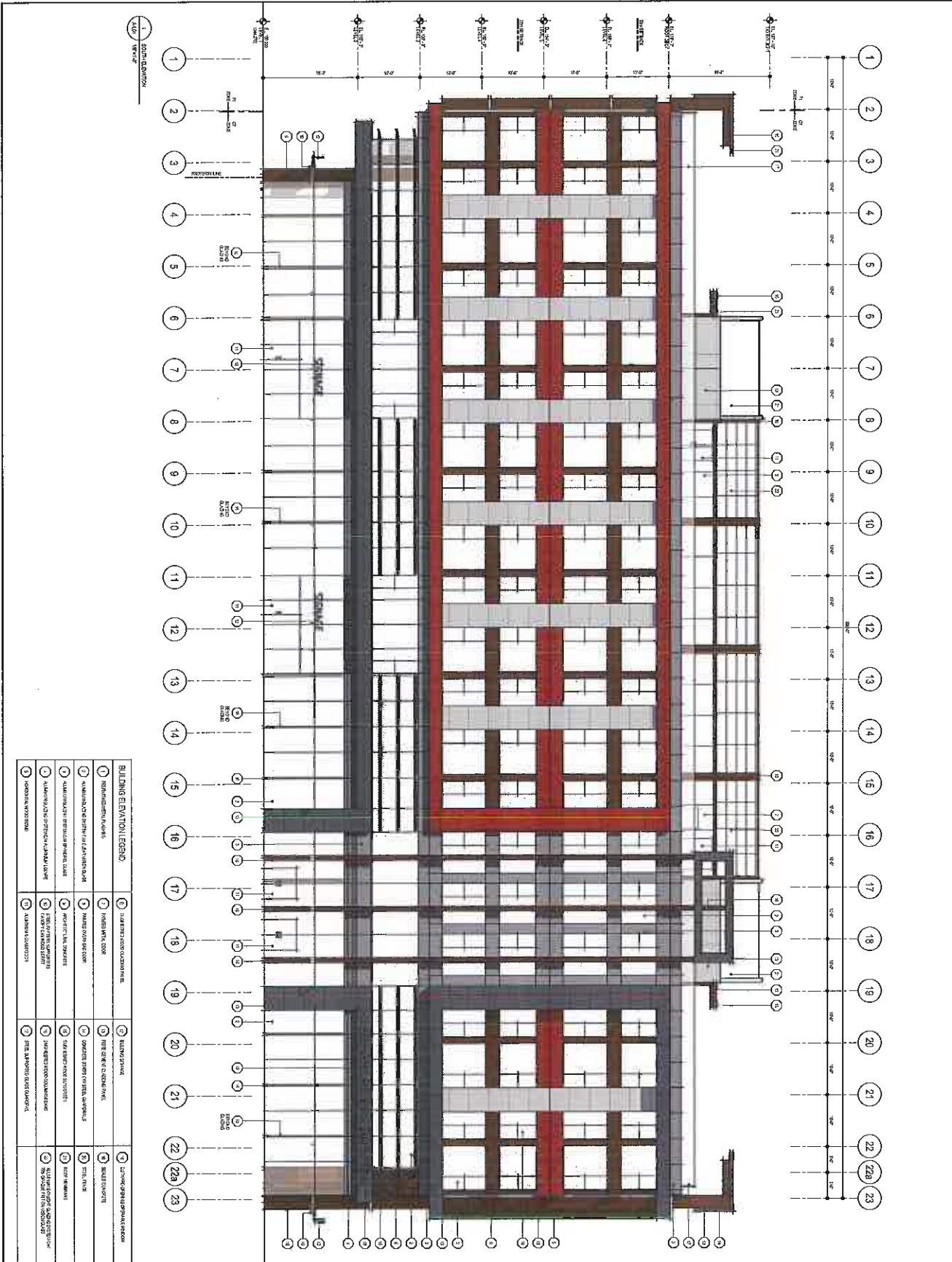


MEIKER JOHN ARCHITECTS INC.
 1000 WEST 10TH AVENUE
 SUITE 1000
 DENVER, CO 80202
 TEL: 303.733.1111
 FAX: 303.733.1112
 WWW.MEIKERJOHN.COM

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	11/14/14	MEIKER JOHN
2	REVISED PER PLAN CHANGES	11/14/14	MEIKER JOHN
3	REVISED PER PLAN CHANGES	11/14/14	MEIKER JOHN
4	REVISED PER PLAN CHANGES	11/14/14	MEIKER JOHN
5	REVISED PER PLAN CHANGES	11/14/14	MEIKER JOHN
6	REVISED PER PLAN CHANGES	11/14/14	MEIKER JOHN
7	REVISED PER PLAN CHANGES	11/14/14	MEIKER JOHN
8	REVISED PER PLAN CHANGES	11/14/14	MEIKER JOHN
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21	REVISED PER PLAN CHANGES	11/14/14	MEIKER JOHN
22	REVISED PER PLAN CHANGES	11/14/14	MEIKER JOHN
23	REVISED PER PLAN CHANGES	11/14/14	MEIKER JOHN

A5.02

440 DON ENRIQUE FELLOWSHIP BLDG
 BUILDING SECTIONS



BUILDING ELEVATION LEGEND					
1	STANDARD WINDOW	16	FLAT ROOF WITH CORNER CURVED PANEL	21	BUILDING SIGNAGE
2	ALUMINUM WINDOW WITH 1/2" CLEAR GLASS	17	ROOFLINE	22	FLYING CORNER SIGNAGE
3	ALUMINUM WINDOW WITH 1/4" CLEAR GLASS	18	ROOFLINE	23	FLYING CORNER SIGNAGE
4	ALUMINUM WINDOW WITH 3/4" CLEAR GLASS	19	ROOFLINE	24	FLYING CORNER SIGNAGE
5	ALUMINUM WINDOW WITH 1" CLEAR GLASS	20	ROOFLINE	25	FLYING CORNER SIGNAGE
6	ALUMINUM WINDOW WITH 1 1/2" CLEAR GLASS	21	ROOFLINE	26	FLYING CORNER SIGNAGE
7	ALUMINUM WINDOW WITH 2" CLEAR GLASS	22	ROOFLINE	27	FLYING CORNER SIGNAGE
8	ALUMINUM WINDOW WITH 2 1/2" CLEAR GLASS	23	ROOFLINE	28	FLYING CORNER SIGNAGE
9	ALUMINUM WINDOW WITH 3" CLEAR GLASS	24	ROOFLINE	29	FLYING CORNER SIGNAGE
10	ALUMINUM WINDOW WITH 3 1/2" CLEAR GLASS	25	ROOFLINE	30	FLYING CORNER SIGNAGE
11	ALUMINUM WINDOW WITH 4" CLEAR GLASS	26	ROOFLINE	31	FLYING CORNER SIGNAGE
12	ALUMINUM WINDOW WITH 4 1/2" CLEAR GLASS	27	ROOFLINE	32	FLYING CORNER SIGNAGE
13	ALUMINUM WINDOW WITH 5" CLEAR GLASS	28	ROOFLINE	33	FLYING CORNER SIGNAGE
14	ALUMINUM WINDOW WITH 5 1/2" CLEAR GLASS	29	ROOFLINE	34	FLYING CORNER SIGNAGE
15	ALUMINUM WINDOW WITH 6" CLEAR GLASS	30	ROOFLINE	35	FLYING CORNER SIGNAGE

SCHEDULE A

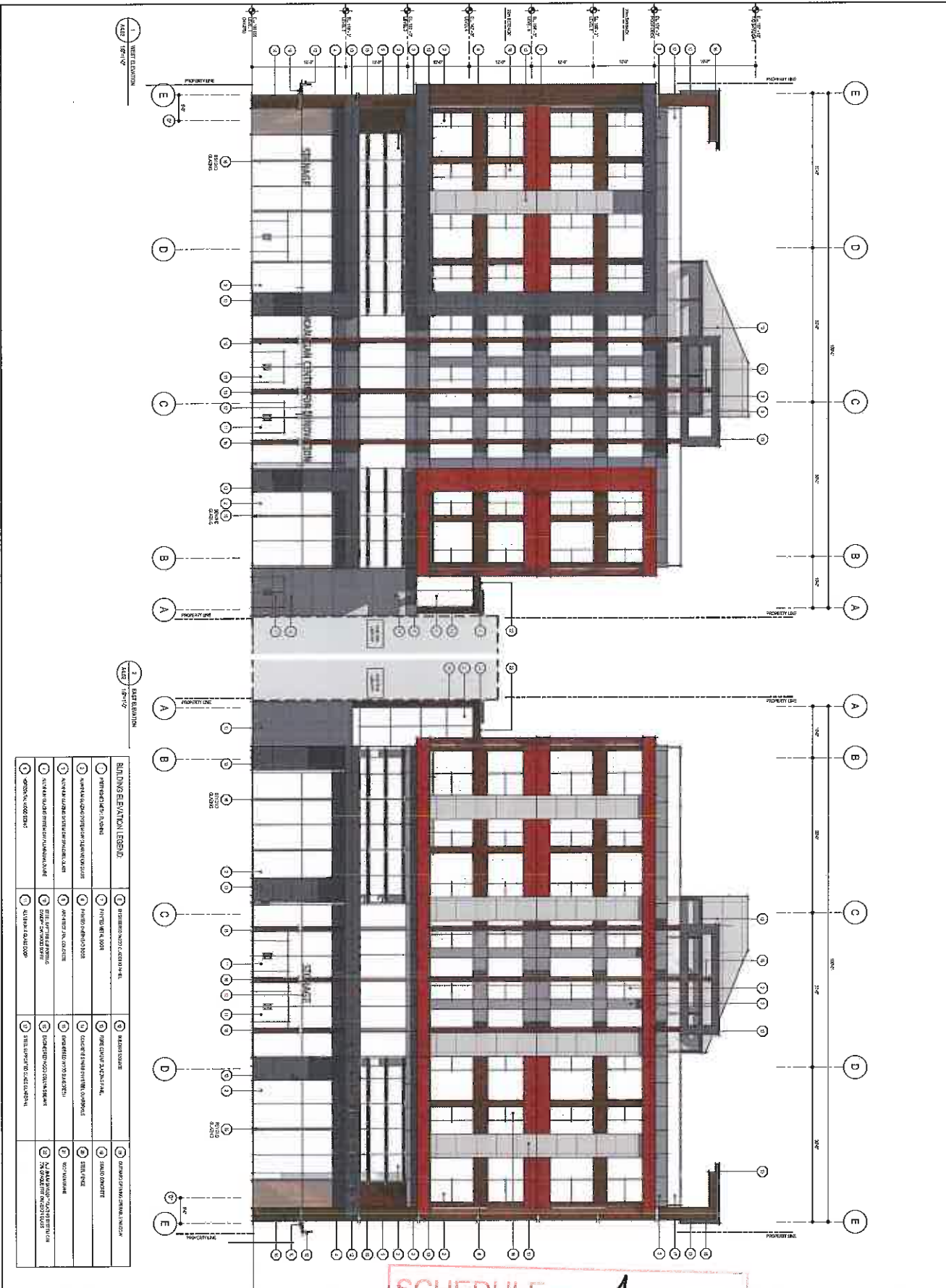
This forms part of development
 Permit # **DP14-0093 / DVP14-2094**



A4.01

BUILDING ELEVATIONS

DATE: 11/13/14
 DRAWN BY: [Name]
 CHECKED BY: [Name]



BUILDING ELEVATION LEGEND

1. WINDOW FINISH	2. WINDOW GLASS	3. WINDOW FRAME	4. WINDOW SILL
5. WINDOW CASE	6. WINDOW LINENOTE	7. WINDOW MULLION	8. WINDOW TRANSOM
9. WINDOW PANEL	10. WINDOW REINFORCEMENT	11. WINDOW STOP	12. WINDOW TRACK
13. WINDOW WEIGHT	14. WINDOW WINDSTOPPER	15. WINDOW WINDUPLIFT	16. WINDOW WINDWATER
17. WINDOW WINDWATER	18. WINDOW WINDWATER	19. WINDOW WINDWATER	20. WINDOW WINDWATER

SCHEDULE A

This forms part of development

MEIKLEJOHN ARCHITECTS INC.

Submit # DP14-0093 / DP14-0094

MEIKLEJOHN ARCHITECTS INC.

4400 DON EAVES BLVD. SUITE 100
 RICHMOND, BC V6X 2R7
 TEL: 604-273-8888
 FAX: 604-273-8889
 WWW.MEIKLEJOHN.COM

A4.02

BUILDING ELEVATIONS

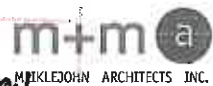


BUILDING ELEVATION LEGEND:

1	INTERIOR DOOR	1	INTERIOR DOOR	1	INTERIOR DOOR
2	EXTERIOR DOOR	2	EXTERIOR DOOR	2	EXTERIOR DOOR
3	WINDOW	3	WINDOW	3	WINDOW
4	SCREENED WINDOW	4	SCREENED WINDOW	4	SCREENED WINDOW
5	SCREENED WINDOW	5	SCREENED WINDOW	5	SCREENED WINDOW
6	SCREENED WINDOW	6	SCREENED WINDOW	6	SCREENED WINDOW
7	SCREENED WINDOW	7	SCREENED WINDOW	7	SCREENED WINDOW
8	SCREENED WINDOW	8	SCREENED WINDOW	8	SCREENED WINDOW
9	SCREENED WINDOW	9	SCREENED WINDOW	9	SCREENED WINDOW
10	SCREENED WINDOW	10	SCREENED WINDOW	10	SCREENED WINDOW
11	SCREENED WINDOW	11	SCREENED WINDOW	11	SCREENED WINDOW
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16	SCREENED WINDOW	16	SCREENED WINDOW	16	SCREENED WINDOW
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21	SCREENED WINDOW	21	SCREENED WINDOW	21	SCREENED WINDOW
22	SCREENED WINDOW	22	SCREENED WINDOW	22	SCREENED WINDOW
23	SCREENED WINDOW	23	SCREENED WINDOW	23	SCREENED WINDOW

SCHEDULE A

This forms part of development
 Permit # DP14-0093 / DP14-0094



M+M ARCHITECTS INC.
 480 BOWLE AVENUE, SUITE 200
 WASHINGTON, DC 20004
 TEL: 202.331.2200
 FAX: 202.331.2201
 WWW.M+MARCHITECTS.COM

**INNOVATIVE OFFICE
 MIXED-USE COMPLEX**

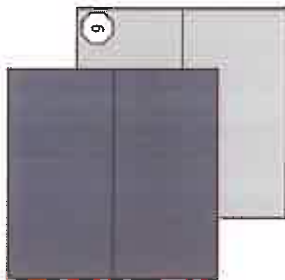
480 BOWLE AVENUE, WASHINGTON, DC

Project No: **A4.03**

DATE: 01/13/2014

BY: [Signature]

SCALE: AS SHOWN



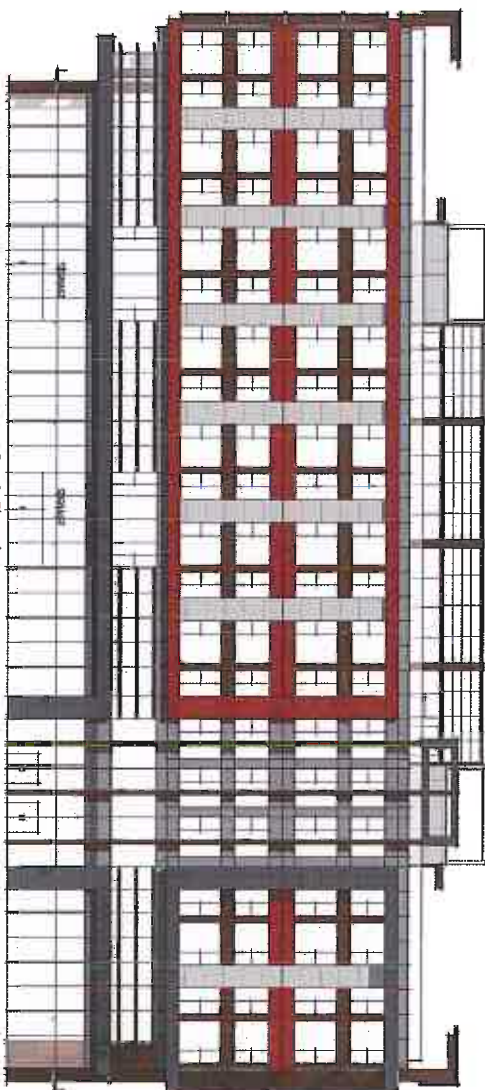
Fibre Cement Cladding Panel
Medium Grey, Charcoal Grey



Fibre Cement Cladding Panel
Burgandy



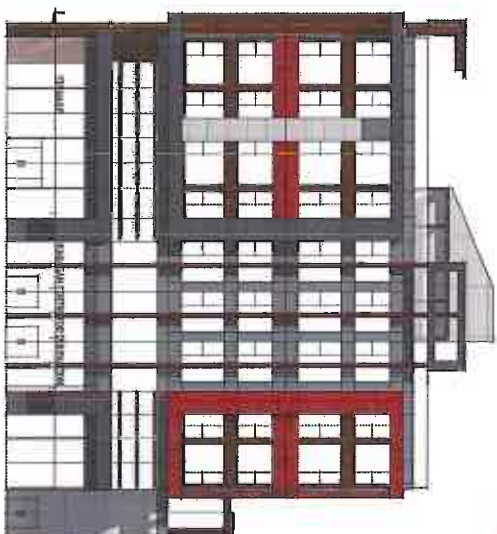
Wood Structure
Engineered Wood Cladding,
Structure, Siding, Sunscreens
Medium Stain



South Elevation

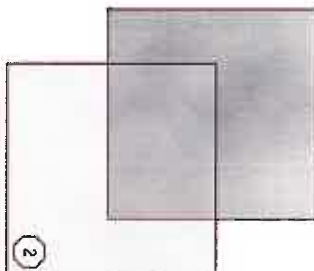


West Elevation

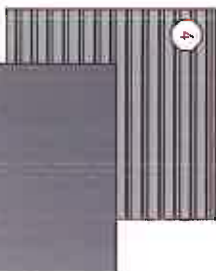


East Elevation

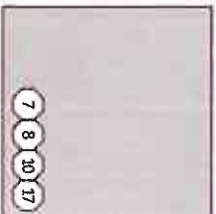
SCHEDULE **B**
This forms part of development
Permit # **DP14-0093 / DVP14-0094**



Stonefront/Curtainwall
Clear Anodized Frames
Clear Low-E Glass

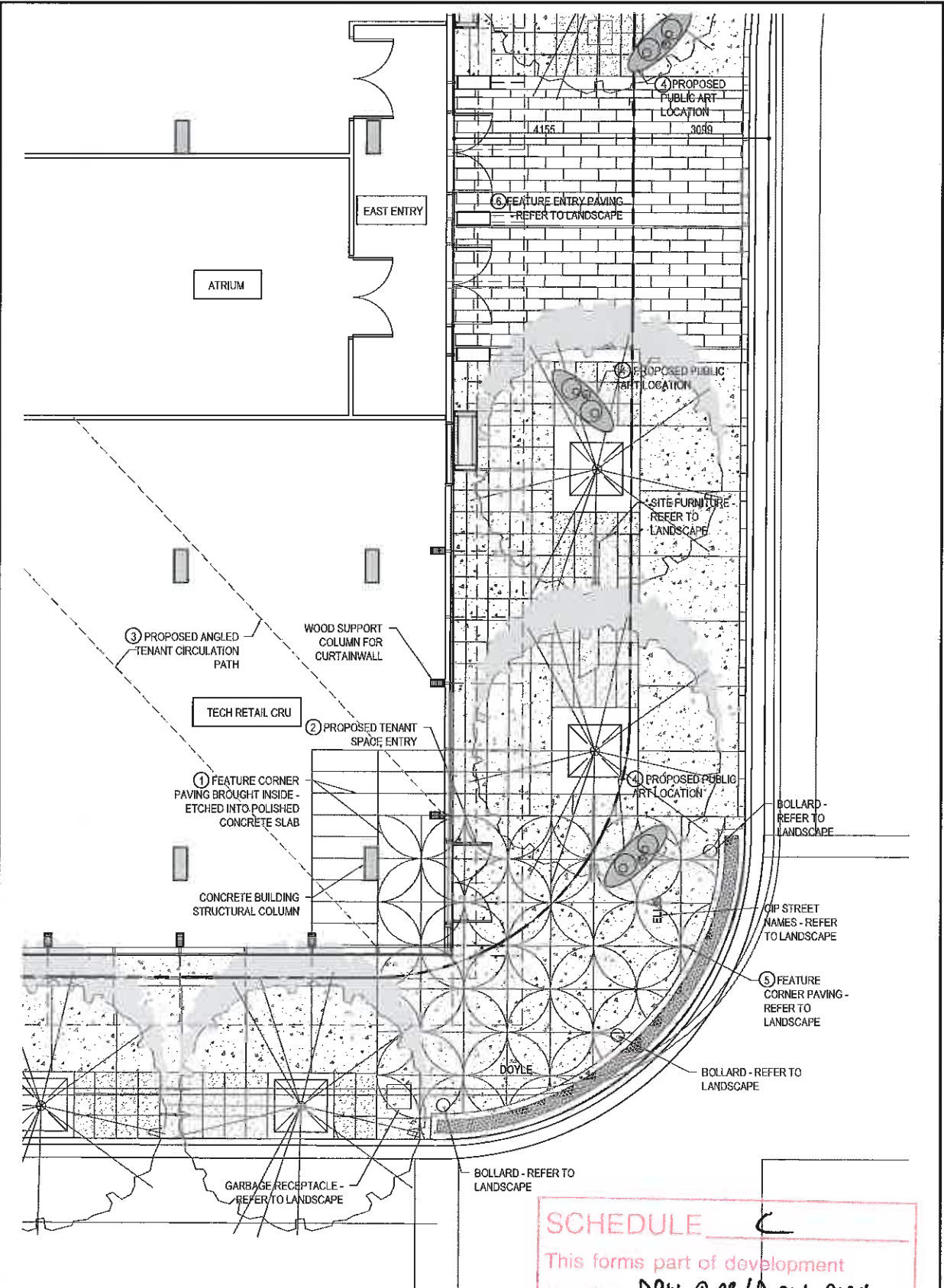


Stonefront/Curtainwall
Clear Anodized Frames
Spandrel Glass/Aluminium Louvre



Painted Steel Doors, Canopy Rafter
Light Grey





SCHEDULE C
 This forms part of development
 Permit # DP14-0093/DP14-0094



No.	Date	Revision

Project Title	Date
OKANAGAN CENTRE FOR INNOVATION	Job No. m+m 11-1227
Drawing Title	Scale N.T.S.
ELLIS DOYLE INTERSECTION	Drawing Number
	DP SK #01

201-75 FRONT STREET, PENTICTON, B.C. V2A 1H2
 233 BERNARD AVENUE, KELOWNA, B.C. V1Y 6N2

TEL: 250.492.3143 EMAIL: pen-mal@shaw.ca
 TEL: 250.762.3004 EMAIL: kel-mal@shaw.ca

CITY OF KELOWNA
MEMORANDUM

Date: May 29, 2014
File No.: DP14-0093
To: Urban Planning (AW)
From: Development Engineering Manager
Subject: 460 Doyle Ave Innovation Commercial Development

Development Engineering has the following comments and requirements associated with these applications. The road and utility upgrading requirements outlined in this report will be a requirement of this development.

1. General

- a) Where there is a possibility of a high water table or surcharging of storm drains during major storm events, non-basement buildings may be required. This must be determined by the engineer and detailed on the Lot Grading Plan required in the drainage section.
- b) Provide easements as may be required.
- c) These are Development Engineering comments/requirements and are subject to the review and requirements from the Ministry of Transportation (MOT) Infrastructure Branch.
- d) A traffic impact assessment has been completed for the proposed parkade expansion and new parkade which has included parking for this development.

2. Domestic Water and Fire Protection

- a) The developer's consulting mechanical engineer will determine the domestic and fire protection requirements of this proposed development and establish hydrant requirements and service needs.
- b) The proposed development site is currently not serviced. Only one service will be permitted for this development. The applicant, at his cost, will arrange for the installation of one new water service.

3. Sanitary Sewer

- a) Our records indicate that this proposed development site is connected with a 150mm diameter sewer service. The developer's consulting mechanical engineer will determine the development requirements of this proposed development and establish the service needs. Only one service will be permitted for this development. The applicant, at his cost, will arrange for the removal and disconnection of the existing service and the installation of one new larger service if necessary.

4. Storm Drainage

- a) The developer must engage a consulting civil engineer to provide a storm water management plan for the site, which meets the requirements of the City Storm Water Management Policy and Design Manual. The storm water management plan must also include provision of lot grading plan, minimum basement elevation (MBE), if applicable, and recommendations for onsite drainage containment and disposal systems.
- b) On site storm drainage systems and overflow service(s) for the site will be reviewed and approved by Engineering when a site servicing design is submitted.
- c) There is a possibility of a high water table or surcharging of storm drains during major storm events. This should be considered in the design of the onsite system.

5. Road Improvements

- a) Ellis Street fronting this development site is urbanized but the existing curb and sidewalk is in a deteriorated state. The upgrades will require curb, gutter and sidewalk removal and reconstruction, boulevard streetscape as well as the re-location or adjustment of existing utility appurtenances if required to accommodate the upgrading construction. The developer shall use the similar vocabulary of streetscape elements as that was used for the Madison frontage (Doyle Avenue). Although the materials and pattern need not be identical, the general character shall be replicated through use of the same surface colors, benches, bollards, and the curb let-down details which is part of the Doyle and Ellis Intersection Concept. Contact the City Planning Specialist, Pat McCormick @ pmccormick@kelowna.ca for further input on the streetscape/public art design and concept.
- b) Doyle Avenue fronting this development site is urbanized but the existing curb and sidewalk is in a deteriorated state. The upgrades will require curb, gutter and sidewalk removal and reconstruction, boulevard streetscape and possible traffic signal upgrades as well as the re-location or adjustment of existing utility appurtenances if required to accommodate the upgrading construction. The developer shall use the similar vocabulary of streetscape elements as that was used for the Madison frontage (Doyle Avenue). Although the materials and pattern need not be identical, the general character shall be replicated through use of the same surface colors, benches, bollards, and the curb let-down details which is part of the Doyle and Ellis Intersection Concept. Contact the City Planning Specialist, Pat McCormick @ pmccormick@kelowna.ca for further input on the streetscape/public art design and concept.
- c) Laneway between Doyle Ave and Smith Ave is a heavily used pedestrian route and a sidewalk along the development frontage is required. The sidewalk is to be dedicated so it is included as part of the road right of way.

6. Road Dedication and Subdivision Requirements

- a) Provide a highway allowance widening of 1.5-2.0m along the frontage of the laneway for sidewalk.
- b) If any road dedication or closer affects lands encumbered by a Utility right-of-way (such as Gas, etc.) please obtain the approval of the utility prior to application for final subdivision approval. Any works required by the utility as a consequence of the road dedication or closer must be incorporated in the construction drawings submitted to the City's Development Manager.

- c) Provide all necessary Statutory Rights-of-Way for any utility corridors required, including those on proposed or existing City Lands.

7. Electric Power and Telecommunication Services

- a) All proposed distribution and service connections are to be installed underground.
- b) Streetlights must be installed on all roads.
- c) Make servicing applications to the respective Power and Telecommunication utility companies. The utility companies are required to obtain the City's approval before commencing construction.
- d) Re-locate existing utilities, where necessary.

8. Design and Construction

- a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- c) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- d) A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- e) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Works & Utilities Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

9. Servicing Agreements for Works and Services

- a) A Servicing Agreement is required for all works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- b) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

10. Geotechnical Report

As a requirement of this application and building permit approval the applicant must provide a comprehensive geotechnical report prepared by a Professional Engineer qualified in the field of hydro-geotechnical survey to address the following:

- a) Area ground water characteristics, including water sources on the site.

- b) Site suitability for development; i.e. unstable soils, foundation requirements etc.
- c) Drill and/or excavate test holes on the site and install piezometers if necessary. Log test hole data to identify soil characteristics, identify areas of fill if any. Identify unacceptable fill material, analyse soil sulphate content, identify unsuitable underlying soils such as peat, etc. and make recommendations for remediation if necessary.
- d) List extraordinary requirements that may be required to accommodate construction of roads and underground utilities as well as building foundation designs.
- e) Additional geotechnical survey may be necessary for building foundations, etc.

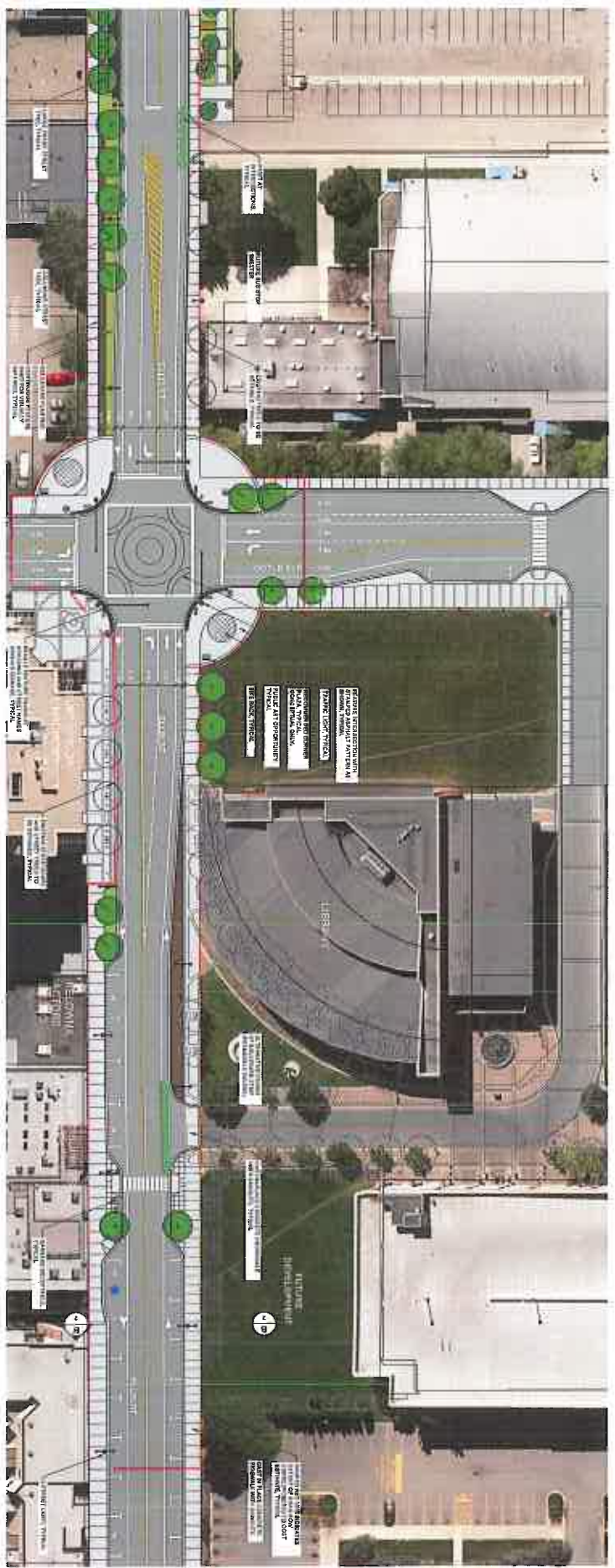
11. Development Permit and Site Related Issues

Access and Manoeuvrability

- (i) Access to the site will not be permitted from Ellis Street.
- (ii) An SU-9 standard size vehicle must be able to manoeuvre onto and off the site without requiring a reverse movement onto public roadways.
- (iii) Indicate on the site, the locations of loading bays as well as the garbage and recycle bins.

Steve Muenz, P. Eng.
Development Engineering Manager

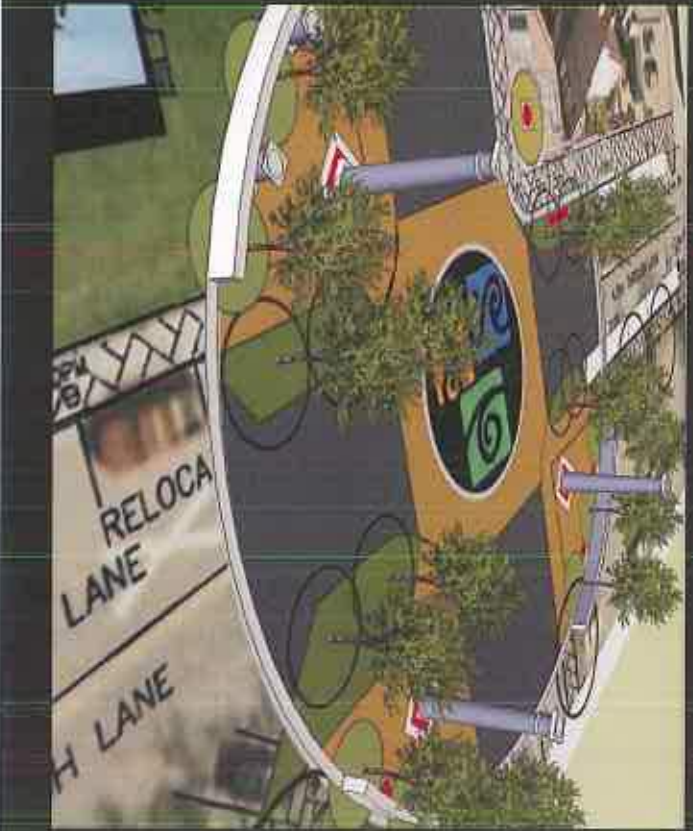
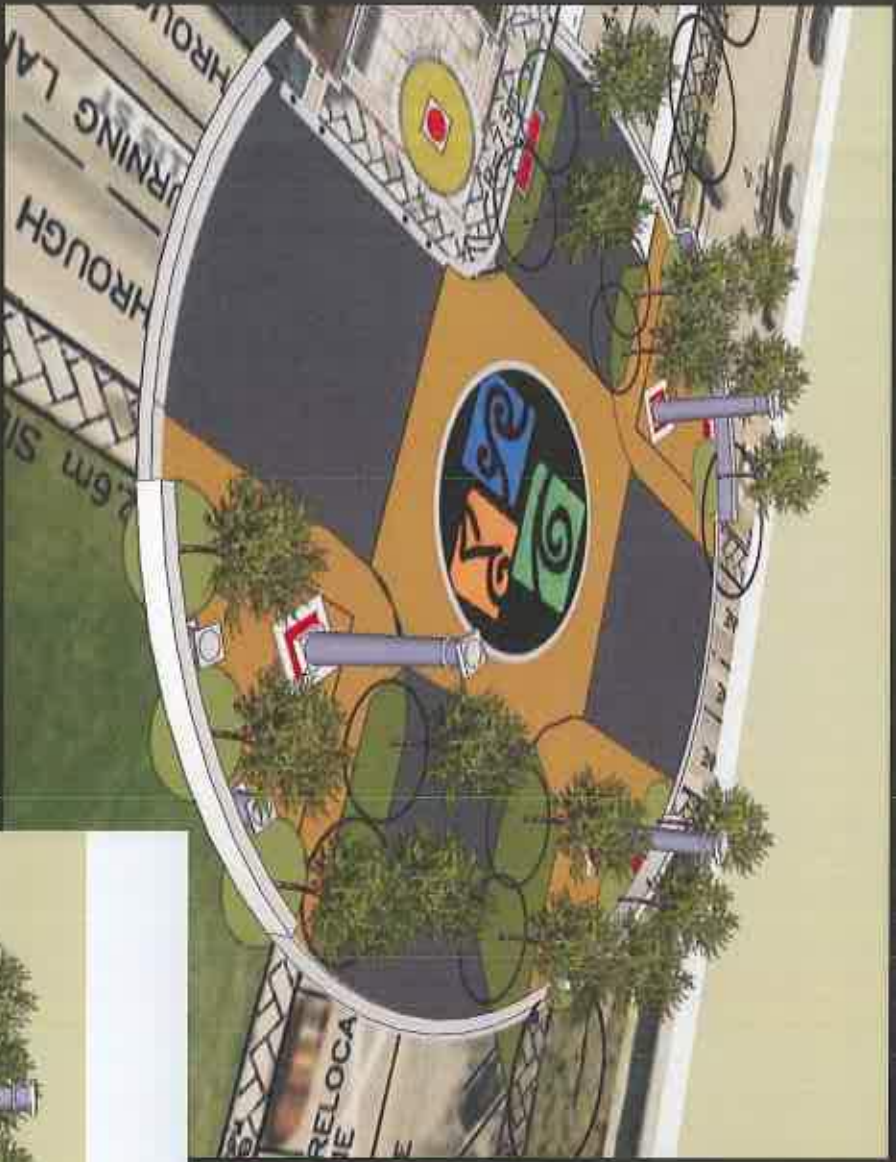
SS



Ellis Streetscape Plan



 CITY OF БЕЛОИТВА	ELLIS STREET CONCEPTUAL DESIGN OVERALL PLAN
	DATE: 1/14/2014 DRAWN BY: L1



Ellis Streetscape Plan



Innovative Office Mixed Use Complex
Design/Program/Permit Application
Design Schedule Report

10.22.2014



Site + Planning

- Location + Context
- Circulation Axes
- Library Alignment
- Aerial Views

Form + Character

- Library Context
- Datums + Composition
- Views + Features
- Studies

Sustainability

- Connections + Collisions
- Healthy Workspaces
- Mass Timber Structure
- Natural Ventilation

Zoning + Variances

- Floor Area + Dimensions
- Setback Heights



Site + Planning

- Context
- Circulation Axes
- Library Alignment
- Street Treatment

Location, Location, Location - The proposed location for the Okanagan Centre for Innovation both accesses and enhances the very best of the Kelowna downtown. The site is in the ideal location to attract and improve the pedestrian realm by animating and activating one corner of one of Kelowna's most dynamic intersections.

Street Life - Proposed retail storefronts and restaurant frontage and patio at grade along the project's south elevation are planned to extend the highly unique street experience west toward the water and set up a complimentary streetscape in the proposed design for the development that will occupy the current RCMP detachment site. The broad Ellis Street setback on the east side of the project has been designed considering the future Ellis Street upgrades being proposed by the City and efforts at creating and activating street level experience. The landscape treatment along both elevations works to promote attractiveness in design by borrowing from the recently completed Bernard Street upgrades while also integrating elements that speak to the high-tech collaborative nature of the facility.

Future Development + Context - The OIC site stands to be situated in an even better location in the years to come when the future development proposals for the adjacent areas is considered. The building mass and scale has been viewed carefully to respond and be compatible with the proposed heights and scale of the adjacent developments. Ellis Street is changing and the OIC proposes to seize in that change by presenting a unique and inspiring architectural design that both respects the surrounding context while also pointing to future.

Downtown Movement - Being situated squarely in the downtown core directly south of the Kelowna Library downtown branch the OIC site is charged with pedestrian, vehicular and transit circulation paths on all sides. The project fits into the (future) existing circulation paths around the site and maximize the potential of the proposed development. The proposed City parkades and the surrounding surface parking offer vehicular parking while the OIC's central location makes the project easy to get to on foot, bike, or transit.



Library Relationship - Circulation within the project has been carefully planned to assure that future connections between the level 1 and 2 main circulation paths and spaces and the existing library can be made. These connection points would enhance both facilities and offer the shared resources of each building to the other. The level 2 atrium is the hub of the project and the generous corridors that lead into it from Boyle and Ellis have been located to allow the north-south axis to extend directly into the main central circulation path of the existing library level 1 floor plan. This direct connection is intended to give the opportunity to the library to renovate their main floor to accommodate programming and spatial uses that would complement the high-tech nature of the OIC. The future of books and libraries is changing and the OIC aims to help make that future as bright as possible by joining the two facilities together and allowing the shared circulation spaces to function as new learning corridors for Kelowna.

Library Landscape - The existing library is an iconic piece of Kelowna architecture and the building's gentle sweeping east elevation is the showpiece of the building. Given that the design of the OIC works to carefully respect and respond to that from a planning and massing perspective. The library green and walkway along its curving southeast face was an important element in establishing the eastern extent of the OIC. The east face of the building along its entire height is set back by 10' to allow for a tight connection at grade to be made between the 2 buildings. This was of importance to the design team as this self-imposed setback works to preserve the views from the south looking north to the iconic sloped roof, glass supports, and window boxes that sit above the library walk and frame the building.

Eyes on the Street (CPTED) - The OIC's street experience is planned to be one of activity and animation. All elements necessary to promote a psychologically healthy and safe pedestrian experience. The OIC's intent to bring together the residents of Kelowna to enjoy retail, restaurant, library, performance, and office experiences in one facility means that the building will be active during regular and off-hours keeping keep eyes on the street long after most office buildings close.

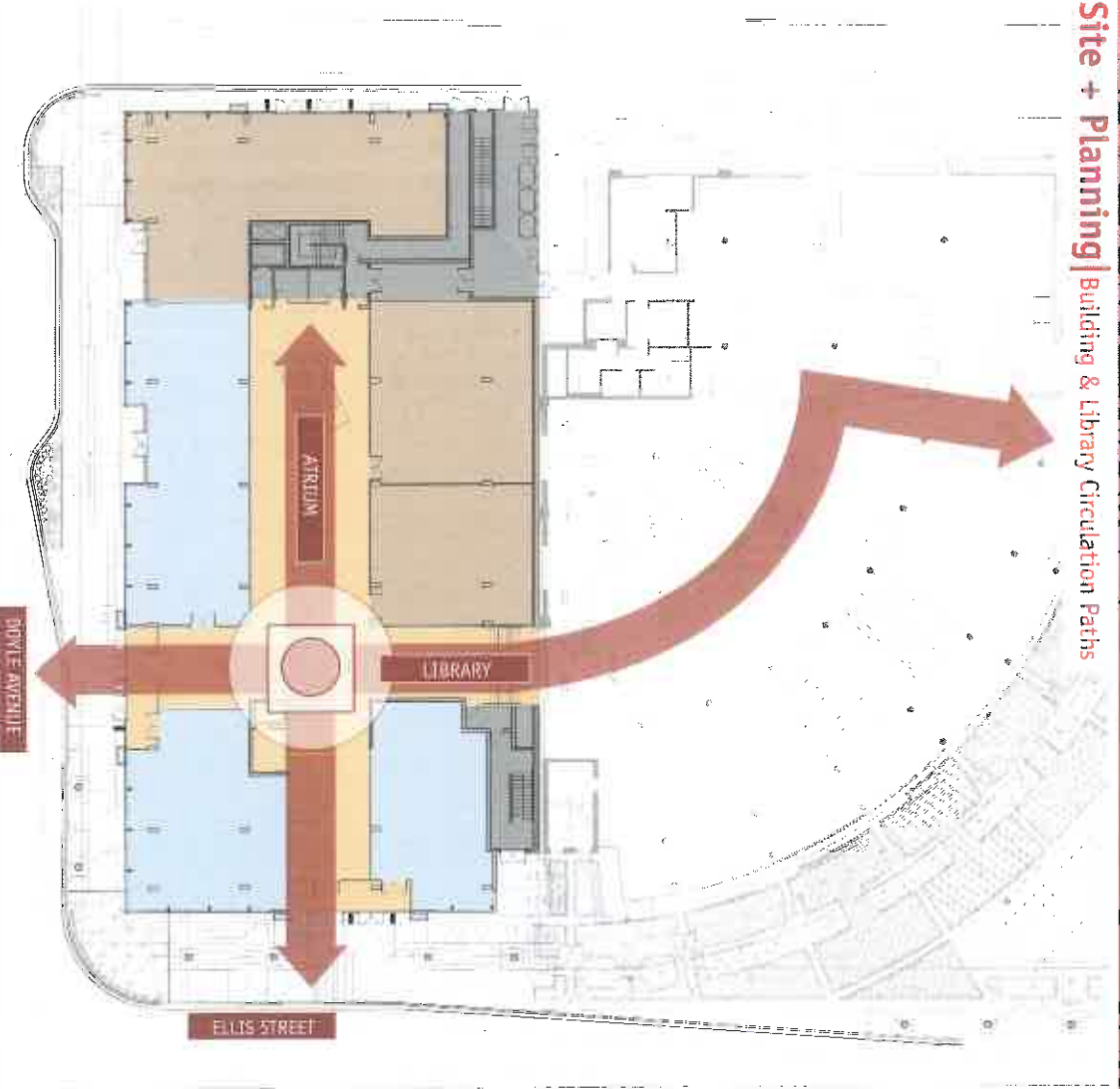
Site + Planning | Site Circulation Paths



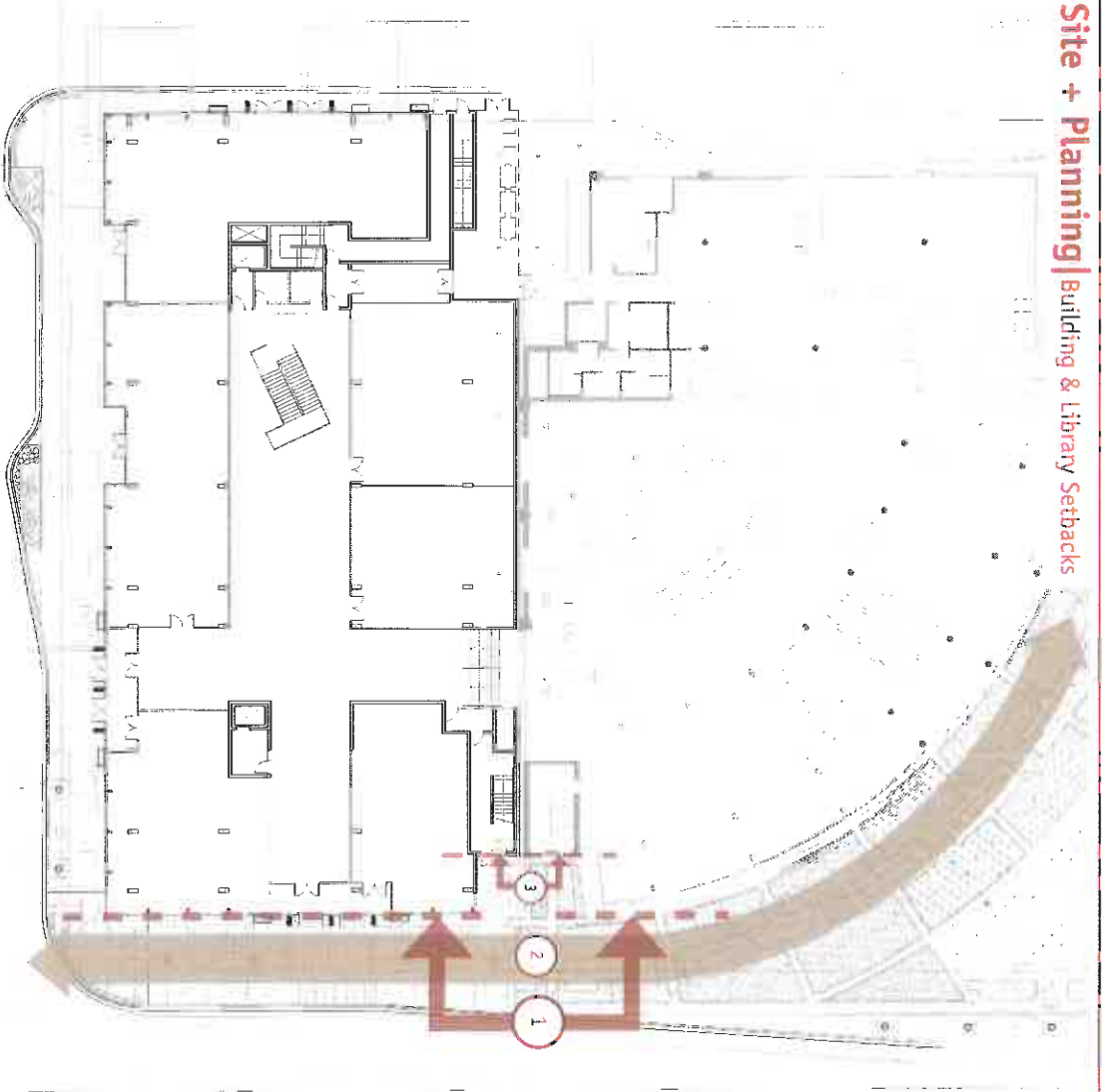
- Vehicular Routes
- Pedestrian Routes
- Proposed Building Entries



Site + Planning | Building & Library Circulation Paths



Site + Planning | Building & Library Setbacks



1. EAST SETBACK: Project East Exterior Wall Aligned with Library South East Corner

2. LIBRARY WALK: Library Green Pathway connects to Project's Ellis Street Frontage

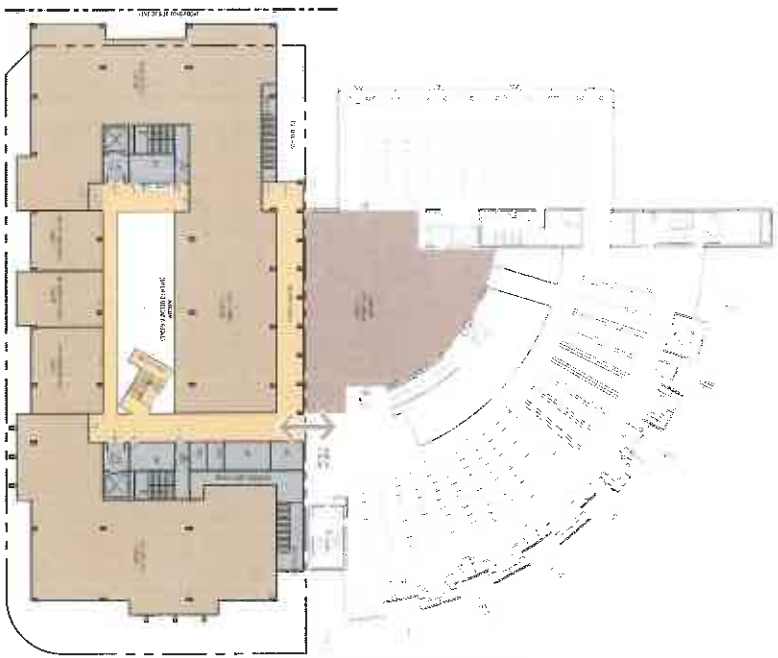
3. STAIR SETBACK: Project Exit Stair Exterior Wall Aligned with Library Exit



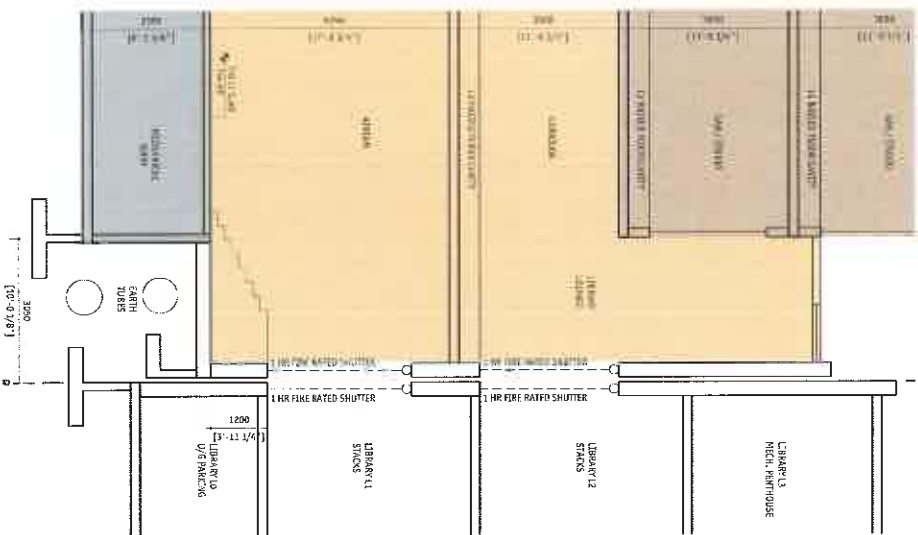
Site + Planning | Building & Library Interface



Level 1



Level 2



Cross Section



Site + Planning | Aerial Views



PHOENIX
OFFICE OF URBAN PLANNING
CITY OF PHOENIX
PLANNING DEPARTMENT

Form + Character

- Library Context
- Datums + Composition
- Views + Features
- Studies

2 Buildings - 1 Language - The iconic nature of the existing library is encapsulated in its materials along with its form and in its own palette. It defines an architectural language for Midtown. Borrowing from that palette and contemporary it was the challenge put forward to the design team and the extent for vocabulary of the OCL makes direct and indirect references to its neighbour. The deep reds of the concrete block are picked up in the hues of the cement panel bands while the cementitious nature of the panels speak to the masonry of the library. The projected window boxes that define the curved elevation of the library are extended through a pattern of projected wood glazed projections adjacent to recessed glazing that make up the majority of the level 2 exterior elevations. The warmth and wonder of wood permeates the library with the wood lined soffits and large setiling wood structural elements. The use of wood was integral to softening the strong lines of the OCL as the return walls and soffits of most of the projected wrap-ups and canopies are lined in wood. The 3 feature vertical elements which adorn the south, east, and west elevations are composed of three glue laminated columns that match their way up the height of building make a nod toward the large angled columns of the library. The intent is to match the wood stain of the OCL's woodwork to that of the library.

Datum Lines - The OCL elevation treatment is primarily defined by the way horizontal lines that strike their way through the projects exterior. The details closest to grade, the retail canopy and the podium wrap-up, are set to establish a human scale that is legible and reliable from the pedestrian realm and sidewalk. The building wrapper works to frame the typical office bay; while the roof canopies provide a relief at the top of the building while alluding to the sculptable roof deck.

Rhythm and Composition - The OCL building fabric can be broken down into three main elements. These elements are composed in such a way to allow for the lower mass (retail base) to be separated by the upper mass (building form) by two devices: the podium setback and the vertical features. The roof form composition of these elements forms the 3 principle elevations of the building and is designed slightly asymmetrical on the east and south elevations and symmetrically on the west.

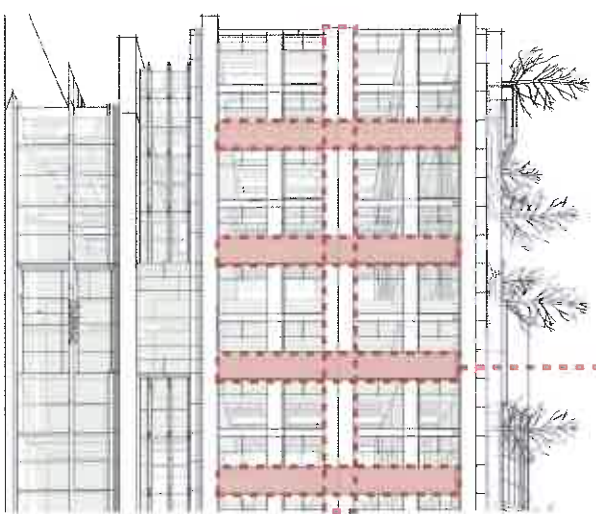
Roof Life - The massing and planning of the OCL was driven in part to provide an inviting large, multi-functional roof deck that could be open to all occupants. The end result of this decision is the OCL's roof deck, a space with the potential to be unlike any other in the Clearspan. The views from the 15,000sf roof deck provide a natural amenity that is unrivaled and to an effort to maximize the time that can be spent outdoors on the deck, the proposed planning sets up three distinct feature areas framed by the roof canopy and proposed to be fitted out with outdoor fireplaces. A walking trail negotiates its way around the sweeping perimeter of the OCL roof deck and is lined with trees in boxes and outdoor furniture conducive to many functions. The roof deck is viewed as an extension of the building atrium and intended to be a place where spontaneous meetings happen and great scheduled events take place alike.

Street Treatment - The retail base of the OCL is purposely set high with a tall floor-to-floor that allows the spaces at grade to feel larger and seem grander. The floor-to-ceiling glass drinks the light in from the exterior and further works to enhance the street and experience of the storefront units. The glazing is interrupted only above the ceiling plane with a row of louvers which act to facilitate and expose the mechanical systems required to support the building. The views up from the sidewalk were important to take into consideration and it is on these soft conditions of foot) the canopy and podium wrapper that the use of wood is proposed. In concert with up and down lighting the wood will exude a sense of warmth and comfort to the pedestrian passing by while subtly tying the project to the library next door. Rising up to the window boxes and the building wrapper all the return walls are intended to be lined with wood slats or fully glazed screened from the sun by sun shades.

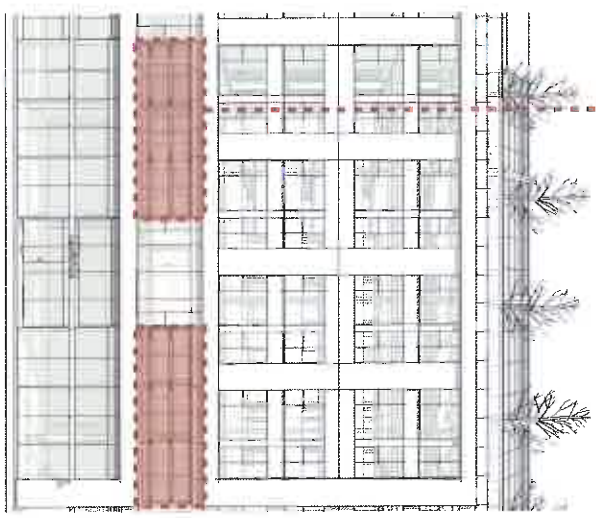


Form + Character | Library Context

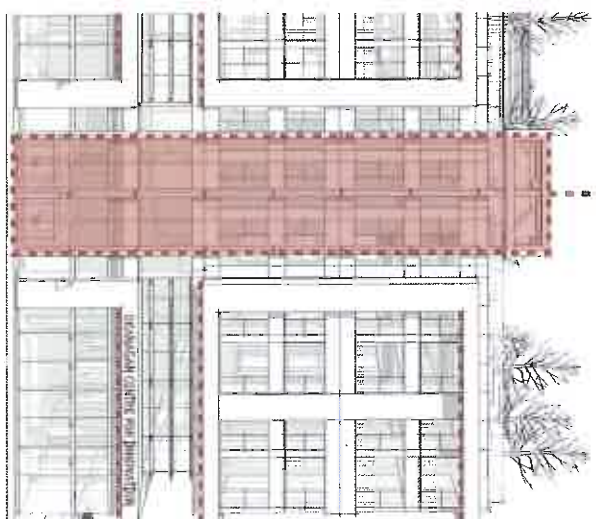
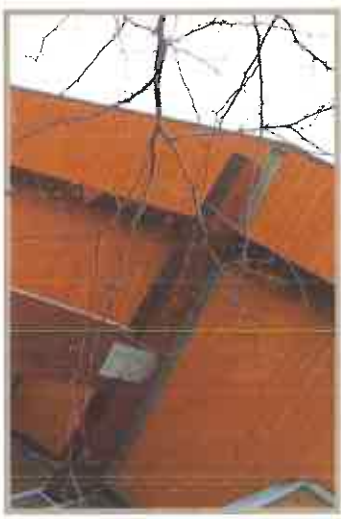
Masonry + Cementitious Cladding



Glazed Window Boxes



Wood Columns + Wood Soffits



Form + Character | Datums



Roof Canopy (~+89.5' / 27.3m)

Building Wrapper (~+78.25' / 23.8m)

Building Wrapper (~+32' / 9.75m)

Podium Wrapper (~+19.5' / 6.0m)

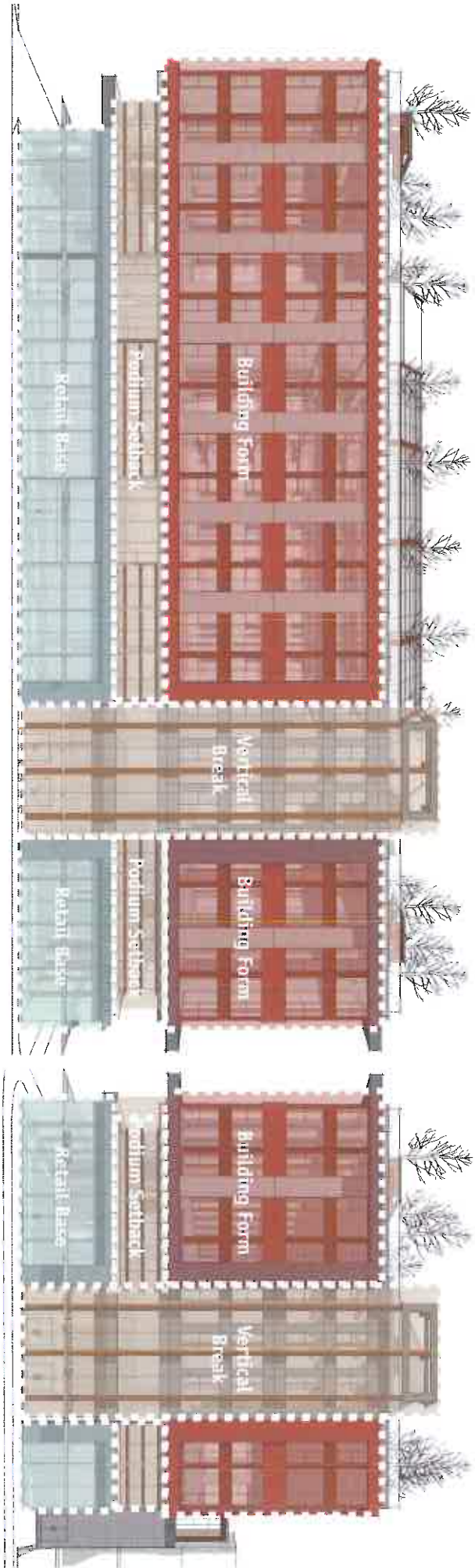
Retail Canopy (~+10' / 3.5m)

..... **Human Scale Datum:** Building datums/horizontal lines set to relate to pedestrian experience

..... **Building Scale Datum:** Building datums/horizontal lines set to break up scale and massing elements of building



Form + Character | Rhythm + Composition



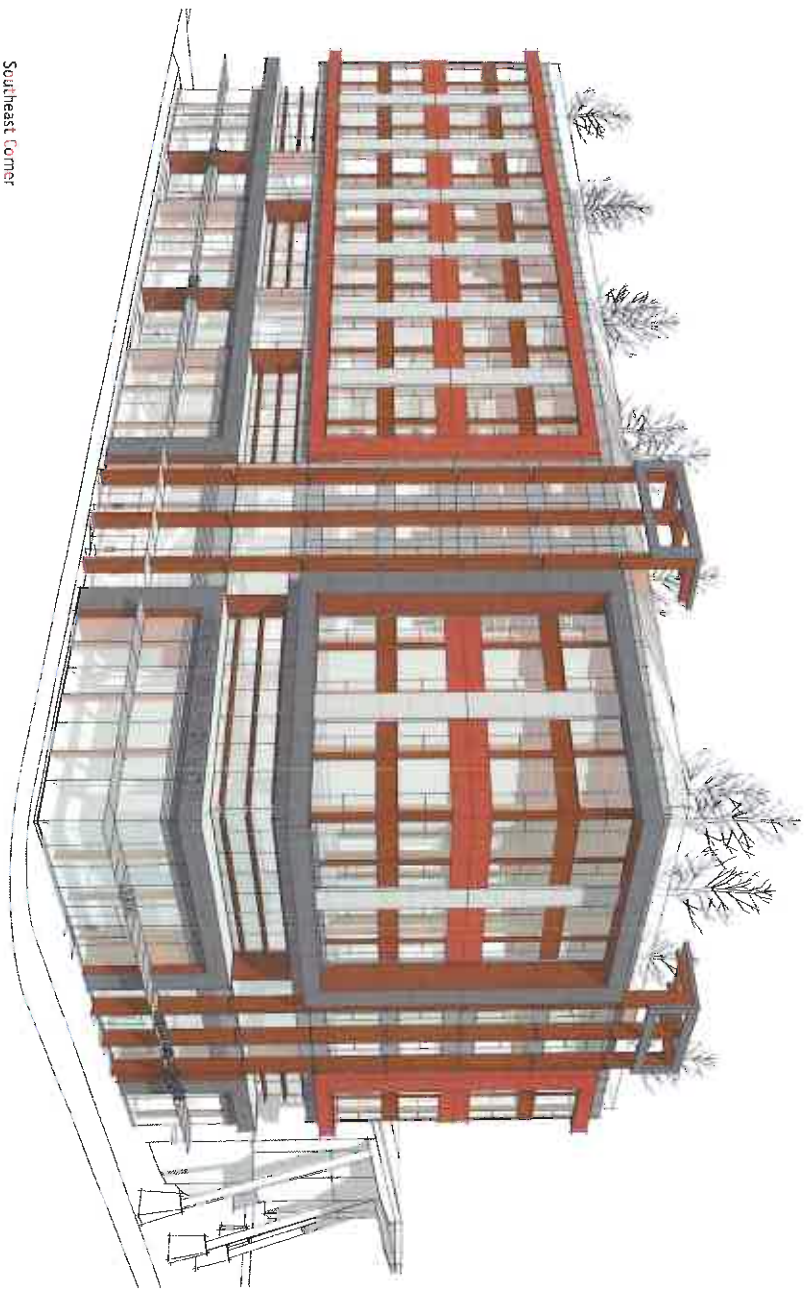
Building Form: Massing element clad with panels and windows set flush with streetwall

Podium Setback/Vertical Break: Fully glazed elements set recessed from streetwall at intervals

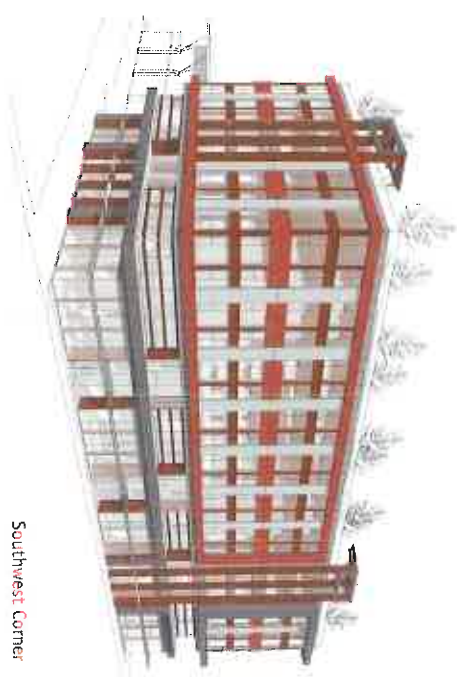
Retail Base: Fully glazed element set flush with streetwall



Form + Character | Exterior Views



Southeast Corner



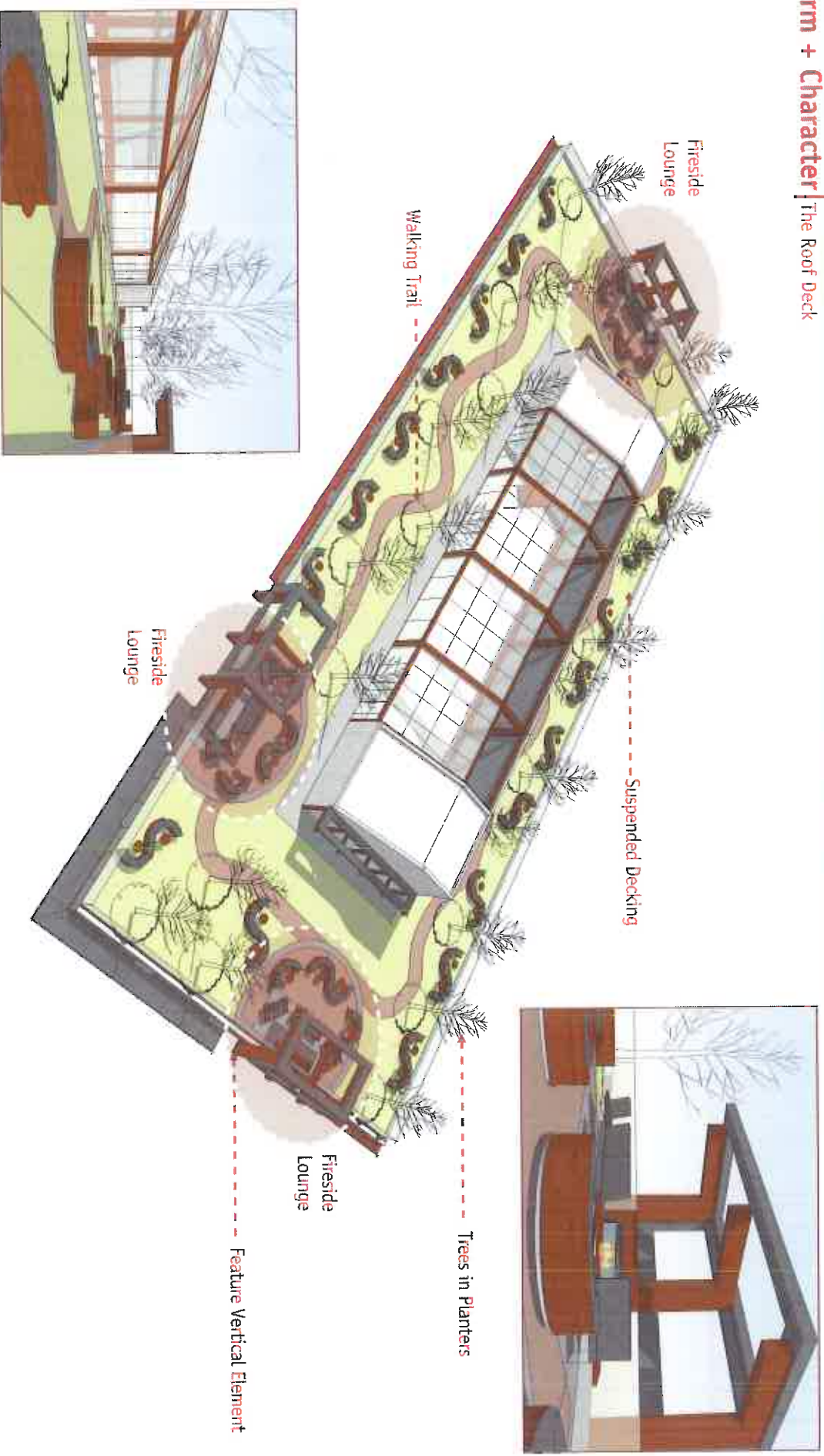
Southwest Corner



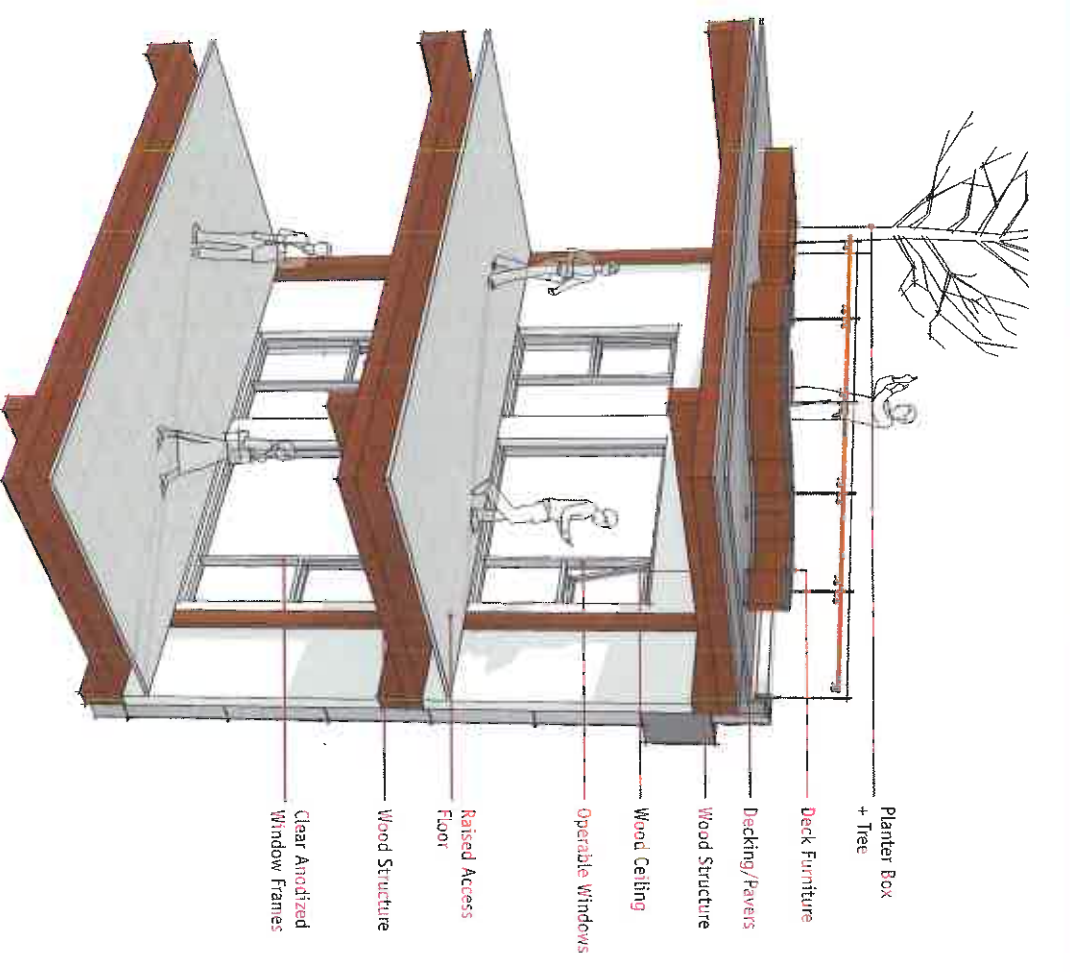
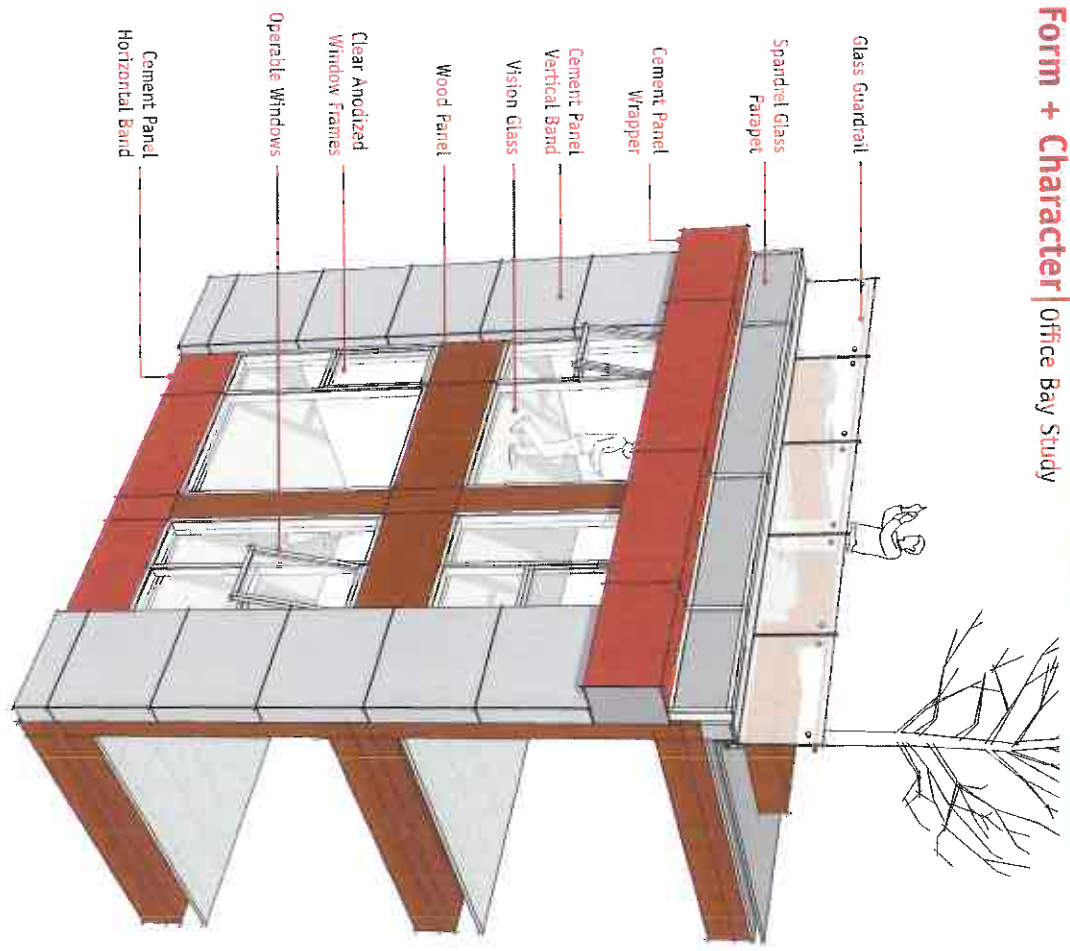
South Elevation



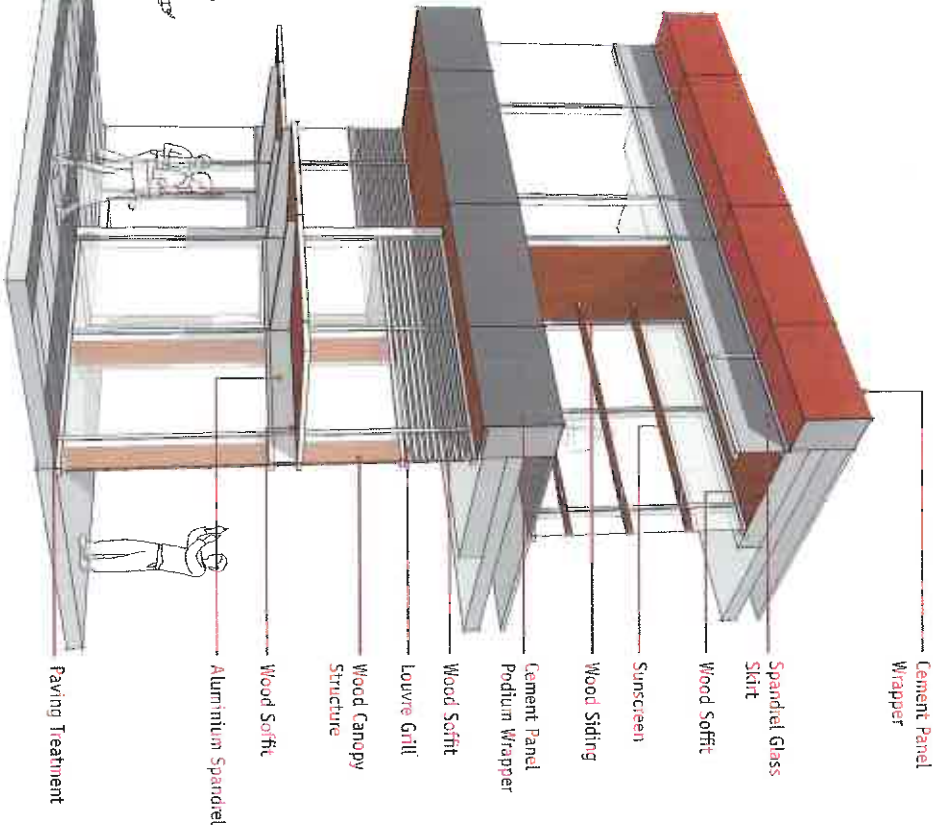
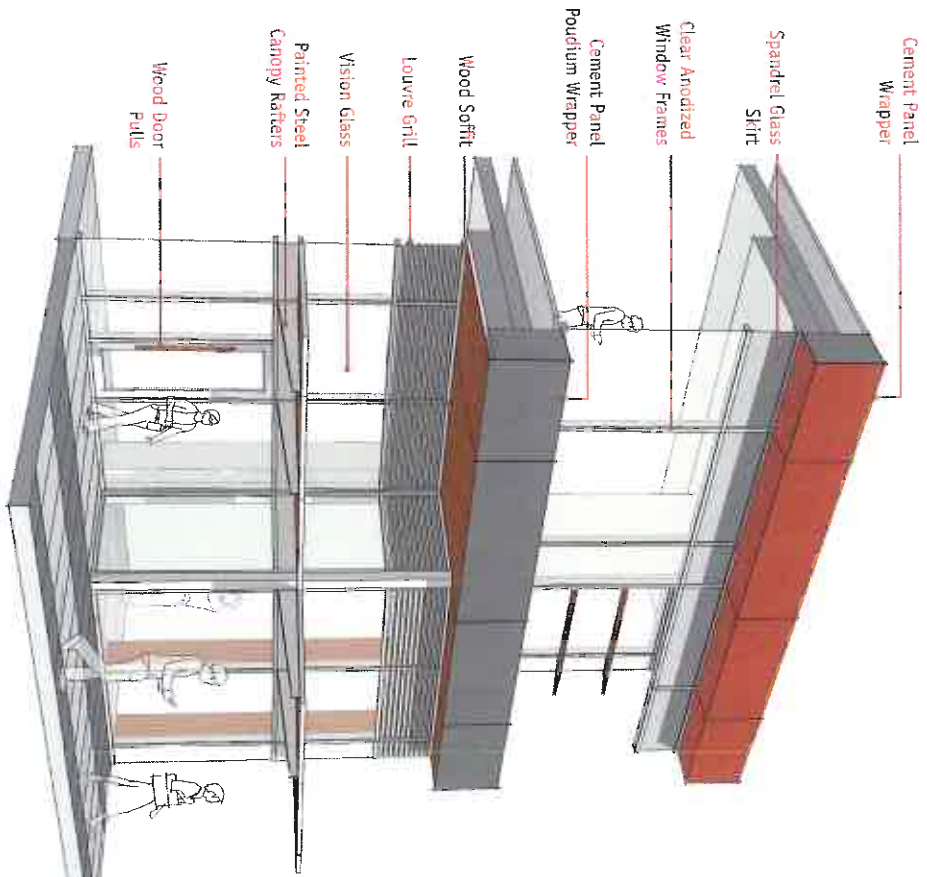
Form + Character | The Roof Deck



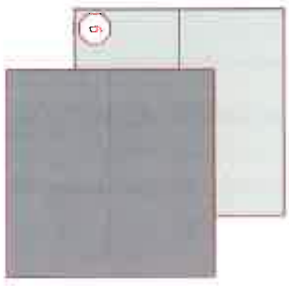
Form + Character | Office Bay Study



Form + Character | Retail Bay Study



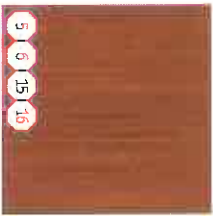
Form + Character | Building Materiality



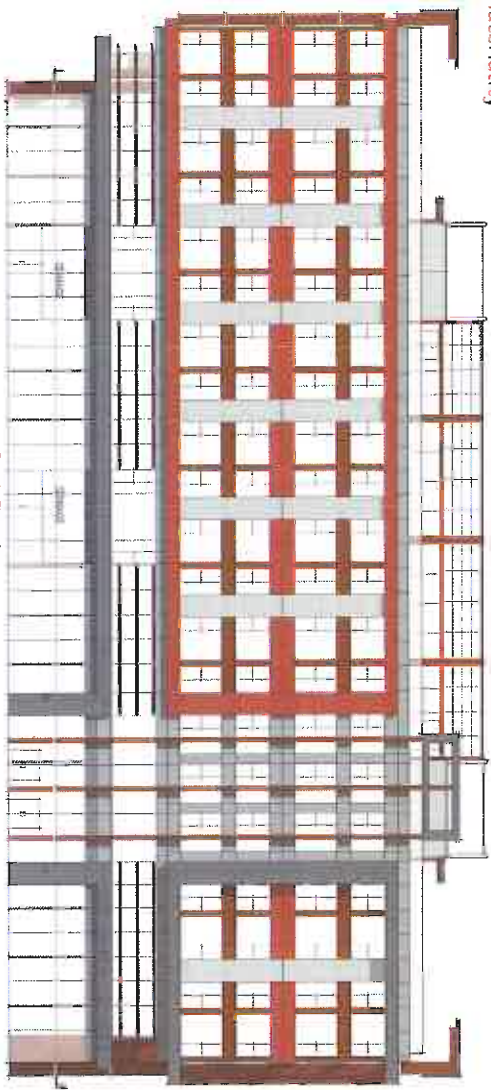
Fibre Cement Cladding Panel
Medium Grey, Charcoal Grey



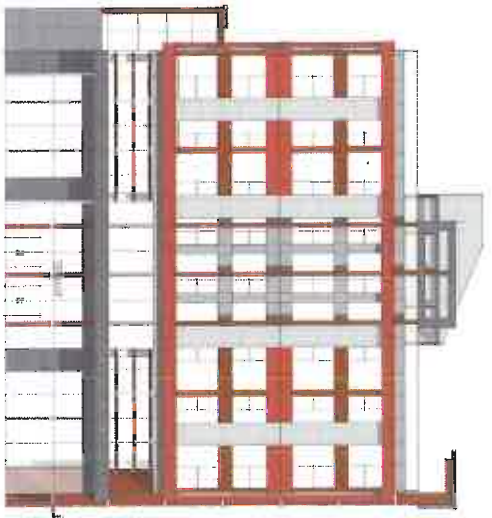
Fibre Cement Cladding Panel
Burgundy



Wood Structure
Engineered Wood Cladding,
Structure, Siding, Sunscreens,
Medium Stain



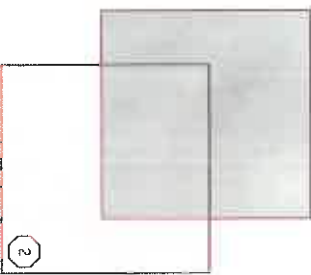
South Elevation



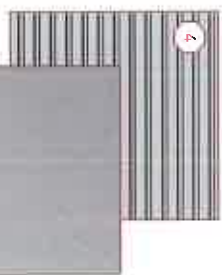
West Elevation



East Elevation

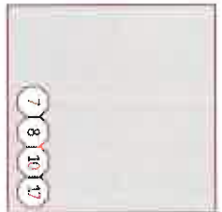


Storefront/Curtainwall
Clear Anodized Frames
Clear Low-E Glass



3

Storefront/Curtainwall
Clear Anodized Frames
Spandrel Glass/ Aluminium Louvre



Painted Steel Doors, Canopy Rafters
Light Grey



Sustainability

- Connections + Collisions
- Healthy Workspaces
- Mass Timber Structure
- Natural Ventilation

Collaboration + Collisions – “You can’t schedule innovation.” Buried in that phrase was the inherent design challenge of the project: how to create a space that would foster and promote the innovative process and contribute to bringing out the best of those who occupy it. The building planning is literally centered on the premise of bringing the building together by way of the atrium; the heart of the project through which everyone must pass in order to circulate further. The atrium acts as the three-dimensional narrative which all other functions are attached to, both horizontally on the floor plans and vertically throughout the whole of the building. The atrium is conceived as the connective tissue of the building and the intent is that through the its creation the building is made more accessible to those within it as way finding becomes more intuitive and walking to your destination becomes a more natural choice. Through its design the atrium, including its accompanying landings and catwalks that line its perimeter, is intended to be the mechanism which increases the chances of innovation occurring.

Vertical Circulation – Conversation happens more naturally when you are given a chance to break away from a major circulation path comfortably. The feature stair is lined with glass and platforms that are located at each mid-landing to allow for a place for collaborative conversations to occur. The feature stair is also situated directly below the stopped skylight at the top of the atrium allowing for it to be bathed in indirect light and therefore be a welcoming element that encourages occupants to use as the transition from one level of the OLT to another. As the top of the stair is the access to the roof deck and it is the hope of the design team that most occupants use the feature stair as the primary means of vertical circulation in the building due to the health benefits that are associated with walking.

Healthy Buildings Happy Occupants – How does a building work to promote happiness, wonder, and delight? It is a tall order for a building and one the design team took seriously at the conceptual planning stage. The atrium was designed to support the programmatic function of being the heart of the building works wonderfully as the lungs of the project as well. The large opening in the center of the building capped with a south facing glass skylight acts as a solar chimney. The mechanical principle of the solar chimney is that it is an architectural device that draws cool air from the perimeter of the building at lower levels and passively heats it and through the stack effect as hot air naturally rises. Through this passive air flow strategy the building is proposed to be naturally ventilated in the shoulder months of the year when temperatures are not extreme. Low level air distribution through a raised floor with grills further works to enhance the overall system and provides occupants a much more satisfying means to get tempered air delivered to their workspace. In comparison to a traditional office air is forced down from ceiling diffusers at speeds that are not as comfortable as the trickle floor approach. The top floor air distribution system. Natural light is proposed to be admitted through the perimeter exterior windows and the glass sections of the interior perimeter walls that line the atrium. Indirect light has been proven to have direct results in improving workplace comfort and in turn lessens the energy use of the building as less lights are required to be turned on.

Local Industry, Local Innovation – Mass timber structural systems above a stone are in a unique position in Canada at this moment in time as they are prohibited by current building codes yet are gaining traction worldwide due to their inherent benefits with respect to carbon emissions. Wood as a material is a carbon sink and to regenerate can not only store carbon within the members used but more carbon is then stored in the trees that are planted to replace the one cut. This cycle of carbon trapping is much more beneficial to the global greenhouse gas crisis and is gaining a light on the use of wood in tall building applications like tower hotels. The OLT proposes to use a mass timber structural system on the upper 4 levels of the project and is working with the City of Kelowna



Sustainability | Connections + Collisions



"You can't schedule innovation"



P X A R
ANIMATION STUDIOS

"We want to create opportunities for people to have ideas and be able to turn to others right there and say, 'What do you think of this?'"
Quotes from Civil Engineer David Routledge, who oversees Google's real estate.



Sustainability | Healthy Workspaces



Slanted Skylight

- floods atrium with indirect light
- natural wayfinding device



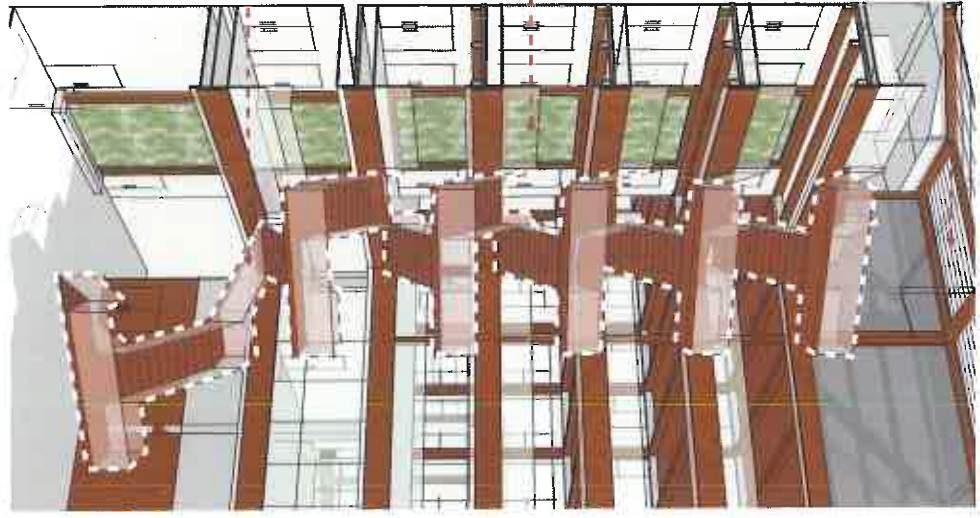
Living Wall

- purifies air
- controls climate
- brings outside in

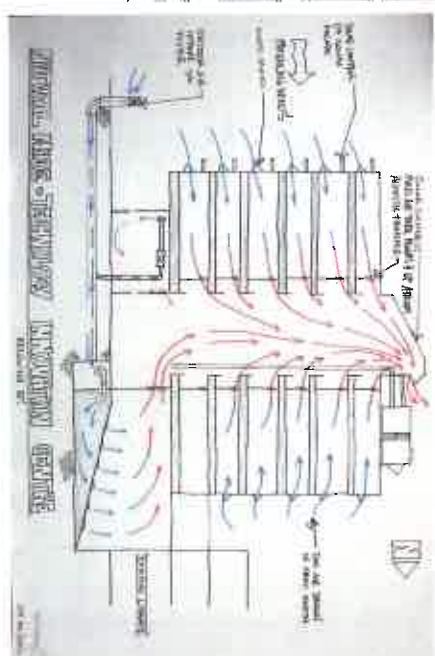
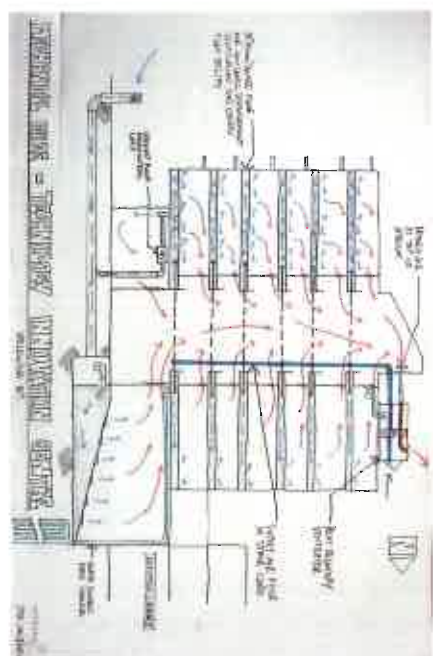
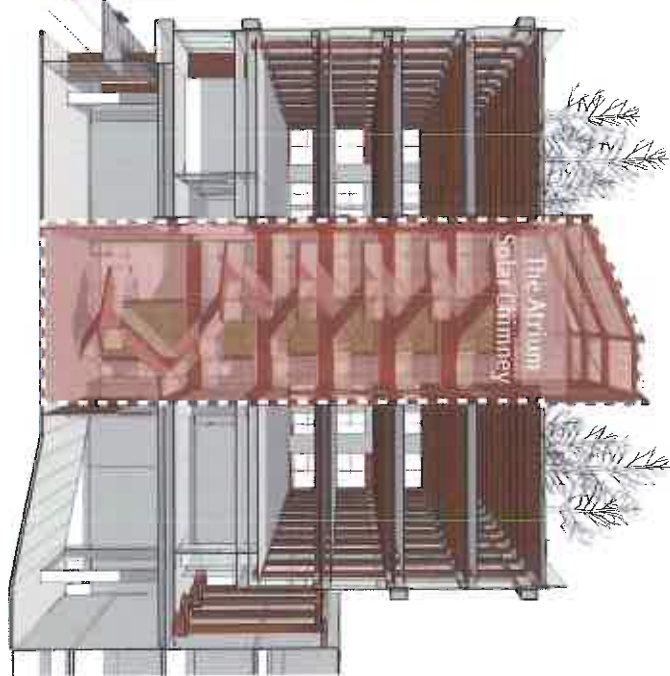


Feature Stair

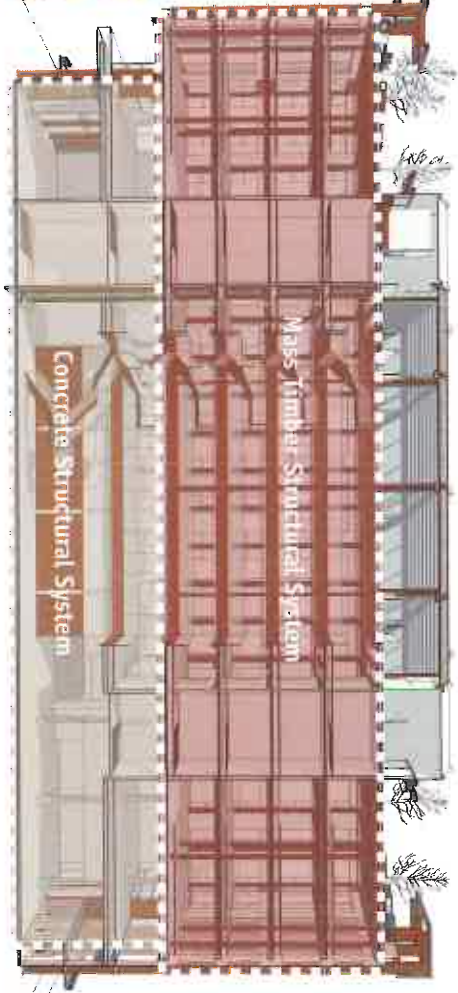
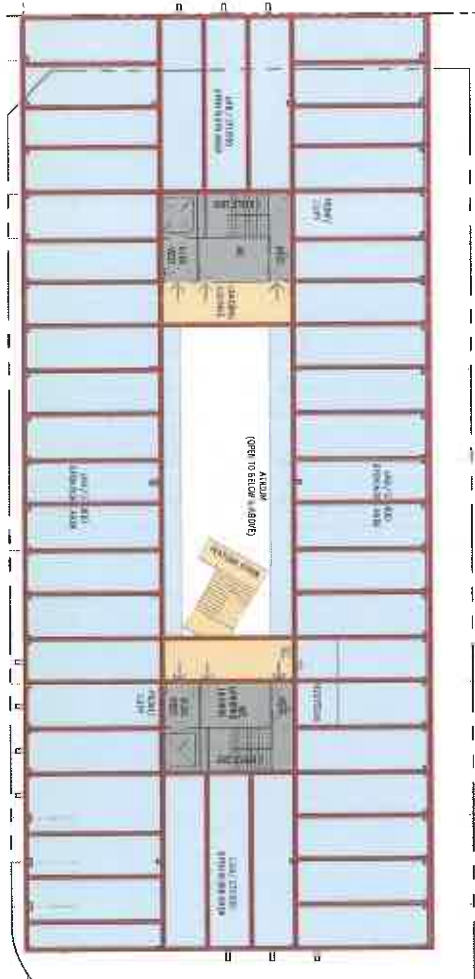
- promotes walking
- provides breakout platforms for collisions



Sustainability | Natural Ventilation



Sustainability | Mass Timber Structure



Cree GmbH Architects
Life Cycle Tower



Zoning + Variances

- Floor Area + Dimensions
- Setback Heights

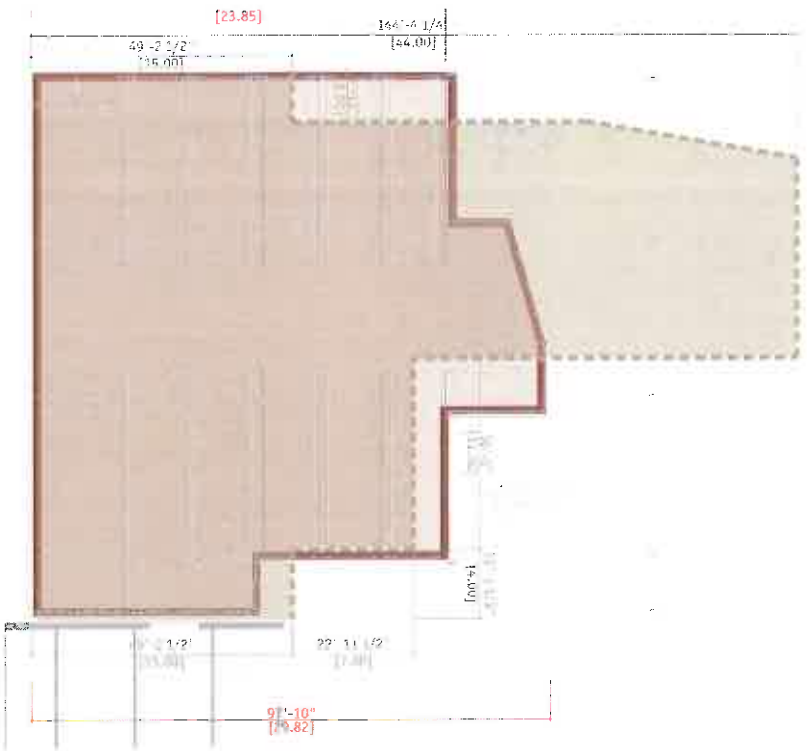
Item	Zoning Regulations	Project Proposal/Variance
Building setbacks above 15 and 21 metres	C7 zoning prescribes a podium-tower formal arrangement through the use of setbacks which step the building back at the height of 15 metres and as well at 21 metres. This is a planning gesture deployed in dense urban centres to support the legibility and creation of a streetwall of building mass that rises usually 3-4 stories and then tapers back. The streetwall is human in scale and establishes a ground plane condition that is comfortable and understandable to the pedestrian.	The streetwall setbacks work to alleviate the mass of a tall tower form if it is pressed tight to the street along its entire height. In the case of this project the building only rises up 6 stories and it is in fact only the upper 3 floors that contravene the setbacks. The podium wraps the level 2 podium, and level 3 podium work to establish and support the human scale of the project and assist in breaking down the mass of the building form.
Building Floor Area and Maximum Floorplate above 15 metres	C7 zoning prescribes a footprint size for floor plates above 15 metres that is usually only suitable for residential use. Although the zone supports commercial office use it is not surprising that no high rise office projects exist in this zone as office floor plates typically demand larger floor areas than that permitted in the C7 zone due to the high gross efficiencies that are required.	The project's office use dictates a floor plate larger than that permitted above 15 metres and the decision was made to reduce height and improve the efficiency of each floor by maximizing floor area. Similar to the setbacks the floor area and dimensional criteria variances apply only to the top 3 floors of the project.
Building Height	The C7 zone allows for a tower form up to 144 metres.	The design strategy of the project was to reduce height and maximize floor area in an effort to maximize view. Views are further enhanced through the creation of the inviting large, multi-functional, roof deck.



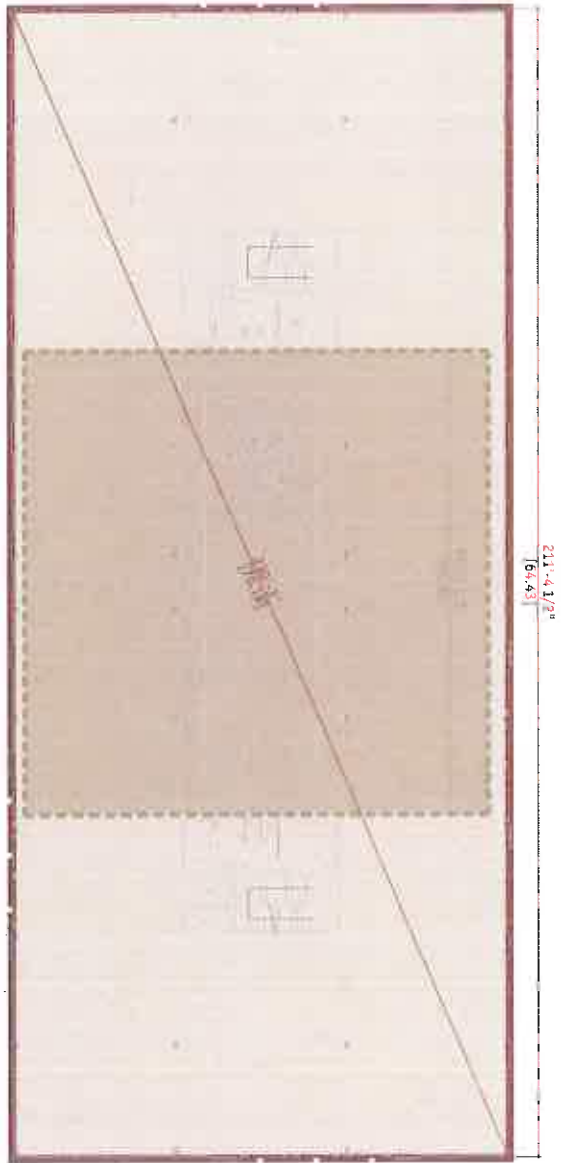
Zoning | Graphic Summary

Maximum Allowable
Height 144'

-  Zoning Regulations
-  Project Proposal



Cross Section



Typical Levels 3-6 Floor Plan



June 5, 2014

The City of Kelowna
1435 Water Street
Kelowna, B.C. V1Y 1J4

Attention: Ryan Smith, Urban Planning Manager

Dear Mr. Smith:

Re: Report on Neighbourhood Consultation – Okanagan Centre for Innovation

As requested, this letter report summarizes the Kelowna Sustainable Innovation Group's (KSIG) community relations and neighbourhood consultation program in support of the Development Variance Permit Application for the Okanagan Centre for Innovation project at 460 Doyle Avenue, Kelowna, B.C.

Background

On May 13, 2014, the developer (KSIG) submitted an application for a Development Variance Permit for the 9,848 m² (106,000 s.f.) commercial building proposed for 460 Doyle Avenue (corner of Ellis and Doyle) to the City of Kelowna. Between submission date and the date of this report, KSIG has undertaken to fulfill its obligations to conduct neighbourhood consultation, as required by the City of Kelowna, in support of the application. Community interface initiatives are ongoing, however the required component of the consultation plan has been completed. This report summarizes the results of this initiative.

Development Variance Permit Process Requirements

The requirements for neighbourhood consultation associated with a Development Variance Permit application are outlined in Council Policy #367, which stipulates that the developer must undertake "Neighbourhood Consultation" which "aims to promote, where possible, direct, face-to-face conversations between an applicant and their immediate neighbours".

Meeting the Neighbourhood Consultation Requirements

In order to meet the City's requirements, the Kelowna Sustainable Innovation Group has undertaken the following initiatives:

1. Publicly announced the project by issuing a press release to major media outlets, a number of which followed up with coverage of the project;
2. Upon public announcement of the project, provided a letter (hand delivered and by regular mail) to property owners and tenants within a 50+ meter radius of the property. This letter described the project and the approvals process, including the proposed variances, and provided information on how citizens could provide feedback on the project. These feedback opportunities, as outlined in the letter, included:
 - a. direct contact with the developer through the OCI website;
 - b. an invitation to the Public Open House (May 28, 2014);

- c. an invitation to contact the community relations representative by email; and
- d. an invitation to contact the City (Ryan Smith) by email.

A copy of the information letter is attached as **Appendix A**. As of this date, the KSiG team has received nine (9) emails as a result of these initiatives. All of these emails related to leasing and investment opportunities.

3. Upon public announcement of the project, KSiG provided written project information via email to major stakeholders, including the Kelowna Chamber of Commerce, the Downtown Kelowna Association, the RCMP, the South Central Association of Neighbourhoods and the Kelowna Downtown Knox Mountain Residents Association. In the weeks following the initial contact and dissemination of information, KSiG followed up with the major stakeholder groups as follows:
 - Telephone and/or email follow-up with all major stakeholders;
 - Coordination of group presentations for the Chamber of Commerce, Cultural District Facilities Group and Downtown Kelowna Association; and
 - Coordination of a special meeting for the residents of the Madison, arranged through the strata council executive committee.

Madison Residents Project Information Meeting

Members of the KSiG project team, including the project architects Jim Meiklejohn and Stoke Tonne, met with residents on the evening of May 21st, between 6:30 and 8:00 pm. This session included a detailed presentation by the project architects on the site history and design rationale, including an explanation of the variances being sought. The presentation was followed by an in-depth question/answer period, led by Lane Merrifield and Jim Meiklejohn. In total, 21 people from the Madison attended this meeting. In general, the people who attended this meeting provided a positive perspective on the project concept and design although those residents whose views will be impacted by the new building expressed concerns. Other issues that garnered questions/expressions of concern included parking, area traffic flow and the loss of green space. Notes from this meeting are attached in **Appendix B**.

Presentations to Other Community Groups

On June 2nd, the KSiG attended Kelowna's Cultural District Facilities group meeting held at the Rotary Centre and provided a short presentation on the project. This group was generally very enthusiastic about the project and KSiG will continue to liaise with the Cultural District representatives on opportunities of mutual interest and benefit. Presentations/meetings have also been scheduled with the Downtown Kelowna Association and the Kelowna Chamber of Commerce.

Additional Public Interface & Feedback - Public Information Open House

At the outset of this program, KSiG met with City of Kelowna communications and planning staff to discuss and agree upon the appropriate approach to the neighbourhood consultation program and although not technically required, KSiG subsequently agreed to host an additional public information session (Open House).

The Open House was held at the Downtown Branch of the Kelowna Public Library on Wednesday, May 28th between 3:00 pm and 7:00 pm. It was advertised in the Kelowna Daily

Courier during the week of May 12th (**Appendix C**) and within all of information materials (press release, project information, neighbourhood notification letter).



The materials presented to the public on May 28th included 11 boards, taken from the design rationale submitted to the City with the DVP application as well as two full copies of the Design Rationale submitted to the City with the application. Attendees were also able to view a 'fly by' video of the project.

In summary, between 115 and 120 people attended the May 28th Open House – 85 people signed in – and most people appeared openly interested and enthusiastic about the project. Although a few people were also interested in

understanding the details of the proposed variances, most seemed satisfied with the project concept and design and hopeful that it would move forward. Comment sheets were made available and a total of 23 comment cards were completed. The majority of the comments received were also expressions of enthusiasm for the project. The comments have been tabulated and a summary is included with this report (**Appendix D**).

KSIG also worked closely with Library staff to organize this event. The Library provided the meeting space and set-up assistance and also retained the services of a graphic recorder (Corinna, www.lovelettersforeverybody.ca) who, during the course of the meeting, recorded people's reactions to the project in large-scale graphic format. This generous contribution to the process provided a fun and effective opportunity for comment for those who may not have completed a comment sheet:



In conclusion, we are confident at this point that the interested public, and particularly the owners/residents of the Madison and the immediate neighbours of this project, are informed and engaged in the Okanagan Centre for Innovation development variance permit application process. We will continue to proactively address communications needs of this project as it moves forward. Please do not hesitate to contact with any questions you may have.

Yours truly,

Mary Lapointe
Kelowna Sustainable Innovation Group

cc. Mr. Kelsey Helm, Ms Sarah Mammel – Kelowna Sustainable Innovation Group

Encl.

Appendix A – Content of Neighbourhood Notification Letter

Date: May 12, 2014

Dear Adjacent and Neighbouring Property Owners,

Re: Proposal to Create Okanagan Centre for Innovation - 460 Doyle Avenue, Kelowna, B.C.

(Legal Description: Lot 4, District Lot 139, Osoyoos Division Yale District Plan KAP57837)

We are writing to introduce you to a project that is being proposed for development in your neighbourhood at the corner of Doyle and Ellis (see attached site plan), next to the Downtown Kelowna Branch of the Okanagan Regional Library. The Okanagan Centre for Innovation was conceived by a diverse group of community, civic and academic leaders including representatives from private industry, Okanagan College, UBC, Accelerate Okanagan, and the Central Okanagan Economic Development Commission as the future home of a purpose-built incubator for technology, innovation and entrepreneurship in the Okanagan.



About the Project:

The Okanagan Centre for Innovation is a 9,848 m²(106,000 square foot), six-story, custom-designed commercial building that will house everything from small, start-up companies to large technology and innovation firms. In addition to offering commercial space at market lease rates, the Centre will offer public space and services to startup and early stage companies, community members, and social enterprises through a non-profit organization called the Kelowna Innovation Society. More detailed project information, including a project rendering, is available on our website at <http://www.okanaganinnovation.com>.

Approval Process:

The property is zoned C-7 (Area 1) within the City of Kelowna's zoning bylaw and the proposed use is allowable within this zone. A Development Variance Permit application has been submitted to the City of Kelowna, which will be considered for approval by Council in the coming weeks, and Plans would be available on the City's website within a few days of submitting a complete application. This application covers requested variances to the setbacks requirements, floorplate size and loading zone requirements contained within the bylaw.

Neighbourhood Consultation - Providing Us With Your Feedback:

As a neighbour, we are interested in knowing what you think about this project and in answering any questions you may have. There are several options available for providing us your feedback. They are as follows:

1. Visit our website at <http://www.okanaganinnovation.com> and contact us through the form provided;
2. Attend our open house, being held on Wednesday, May 28th at the Downtown Kelowna Branch of the Okanagan Regional Public Library, between 3:00 pm and 7:00 pm and fill out a comment card (will also be available online); and/or
3. Contact Mary Lapointe, Okanagan Centre for Innovation at 250-826-7670 or through email at mary@okanaganinnovation.com to arrange a meeting.

Please note that the feedback we receive will be passed along to the City of Kelowna Planning Department. If you have questions for the City of Kelowna on this project, please contact Ryan Smith , Urban Planning Manager at 250-469-8426 or by email at rsmith@kelowna.ca.

Best Regards,

Mary Lapointe

Okanagan Centre for Innovation

Attach.

Appendix B – Notes From Meeting with Madison Residents – May 21, 2014

The following is a nearly verbatim record of the questions and comments made by the group that attended the meeting:

- Would you build higher if you switched from wood to concrete/steel structure?
- Did the land get donated with established limits on height (of building)?
- This project is 50% higher than the Library. Will the 6th floor still have a view?
- It is not actually 6 floors, it is 7, including the roof structure.
- Our building is being surrounded by buildings on all sides; concerned about light.
- Will the OCI building be right up against the library?
- What about the loss of parking on Doyle (how will this be made up)?
- This is an exciting project but what about the impact on the neighbourhood/traffic/parking? With the Monaco, the IH building and others it is going to be a nightmare with traffic and the disappearance of parking.
- Does your project have to be here? Is there not a better location for it? You are creating a nightmare.
- Losing greens pace downtown is my biggest concern. I always hoped it would remain green space. Is the city planning for the loss of parking? For bike lanes? For improving livability (particularly on Ellis)?
- Are you coordinating with the IH building in terms of traffic? Moving in and out of this neighbourhood is already problematic. How can you understand the impact of this building without knowing what will happen with the IH building?
- How many people will be working here?
- What are the variances being sought?
- Wouldn't the existing IH building be a perfect place for this use?
- What is the process/next steps? What does the City need in order to approve this and what is a realistic time frame?
- Who owns the land? How is the City involved? How does this formula work?
- Who would carry the liability on this project? Who are the owners and who will bear responsibility?
- Will the City be collecting property tax?
- I bought my place for the view. Your site is very puny and there are many other sites you could go to.
- Just too much happening in this neighbourhood.
- All the activity is stressing us out.
- We need the area densified with good design. People on floors 4-7 will be most impacted. What will it look like for them?
- How will the design change with our input?
- Need to know the height of the floors in the Madison (relative to the OCI).
- Is it going to come up as high as the 8th floor (Madison)?
- Parking is a big issue.
- What are the components of the upgrades (at street level)?
- Is the Council meeting on variances an open public meeting?
- Will the City be doing the new parkades before this project goes ahead?

Appendix C- Newspaper Advertisements for Open House
Kelowna Daily Courier – Week of May 12th

Okanagan Centre for Innovation - Open House



Date: Wednesday, May 28, 2014

Time: Open House Format from 3:00-7:00 pm

Location: Downtown Branch of the Okanagan Regional Library

The Okanagan Centre for Innovation is a state of the art, purpose-built facility proposed for the corner of Ellis and Doyle (460 Doyle Avenue) in downtown Kelowna and designed to encourage growth of the technology, innovation and entrepreneurial eco-system and support economic development and job creation in the Okanagan.

A development variance permit has been submitted to the City of Kelowna for consideration under the existing zoning and this application will require Council approval prior to development occurring on the site. The purpose of the open house is to provide the public with an opportunity to view and comment on the project.

For more information or to contact the project team, please visit our website at <http://www.okanaganinnovation.com>

Appendix D – Summary of Feedback – Public Open House – May 28, 2014

Attendance: 115-120 people
Sign Ins: 85 people
Comment Cards: 23

Do you think the Okanagan Centre for Innovation project helps to achieve the following community goals:

	Yes	No	Don't Know
1. Creates opportunities for economic growth in the technology and innovation sector.	19/23	0/23	4/23
2. Establishes Kelowna/the Okanagan as a technology and innovation centre.	19/23	0/23	4/23
3. Attracts investment to Kelowna, the Okanagan and British Columbia.	17/23	0/23	6/23
4. Supports revitalization goals for Downtown Kelowna.	19/23	0/23	4/23
5. Supports the cultural district, including the Library.	19/23	1/23	3/23
6. Enhances opportunities for interface/connectivity between public and private uses.	18/21	0/21	3/21
7. Positively enhances the downtown through good design.	19/21	0/21	2/21

Comments:

1. Love the design. Waiting to hear more about what happens inside. How can other org's participate in the innovation? 😊
2. Looks wonderful and inclusive.
3. Fabulous, when will it start?
4. Fabulous, when will it be finished?
5. I like the idea of the mass timber structure as a means of carbon capture. I hope that this forward-thinking building format will be supported. BC as a wood producer should be using wood for tall building construction.
6. My client is looking to acquire an entire floor to support this project. Please provide leasing details as they become available. Thank you. Q: What is the largest office template available?
7. AWESOME!!)
8. First project I've been pleased about in this neighbourhood. One becomes cynical about input in these information meetings. There should be limitations placed on projects that attain outrageous variances (the Monaco) and the don't building (sic). Renewal of permits shouldn't be automatic and should expire. New owners should have to start over. The traffic in the lane is ridiculous now, can't wait for the densification of the Doyle & Ellis corner! Why bother consulting the public when you're going to approve anything put before you? The input factor is strictly "pro forma".
9. Marvelous design. Love the airiness and green aspects. Makes a great corner for the downtown. Encourages new companies and technology in general.

10. Loosen up the site! The building is a singular statement with little consideration for the library. I see loss of opportunity with the library – such as loss of green space – could be great opportunity for courtyard between buildings as creative intermediary.
11. The one aspect that would be nice to explore further is the zone between the library and the new building (exterior). Right now it seems like it will be a dead space. It would be nice to have more of a plaza or public space in this interstitial space. Give back a bit more green space. A place to sit as part of entry to new building.
12. A bit concerned with the loss of green space. However the overall project looks promising. Hopefully, non-profit groups such as the local neighbourhood association – Kelowna Downtown Knox Mountain Neighbourhood Association – will benefit – use of inexpensive meeting space.
13. Was concerned about impact to the Library in particular and the Doyle/Ellis area in particular but things seem positive. We'll see!!
14. Beautiful building – lots of natural wood and glass which positively impacts the Madison views. We hope you are successful!
15. Awesome! Hurry ---- Green Light ---- Go!
16. Creates more of a downtown '???' (unable to decipher).
17. Congratulations!
18. Fantastic – Downtown desperately needs business/residential high-rises to bring energy to the area – this will help muchly.
19. Want to see what develops as planning continues. Concerns about parking availability particularly for public coming into library.
20. Home run project. Beautiful design. Collaboration opportunities abound.
21. Hope to see a good mix of business/non-profit.
22. I have real concerns as to where the additional parking spaces for such a building will come from. The addition to the library parkade and the building of the new parkade have already been designed for the IHA use.

CITY OF KELOWNA

APPROVED ISSUANCE OF A:

Development Permit No.:

DP14-0093 & DVP14-0094

EXISTING ZONING DESIGNATION:	C7 - Central Business Commercial
WITHIN DEVELOPMENT PERMIT AREA:	Revitalization Development Permit Area
DEVELOPMENT VARIANCE PERMIT:	<ul style="list-style-type: none"> ❶ Vary the rear yard (lane) setback from 0.0 m permitted to -4.4 proposed. ❷ Vary the setback for portions of a building above 15 m along Doyle Avenue from 3.0m required to 0.0 m. ❸ Vary the setback for portions of a building above 15 m abutting another property from 4.0m required to 0.0 m. ❹ Vary the building setback from an interior lot line for portions of a building above 22 m from 15 m required to 0.0 m proposed. ❺ Vary the building setback from a lot line abutting a lane for portions of a building above 22 m from 10m required to -4.4 m proposed; ❻ Vary the inclined plane above 15m from 80° permitted to 90° for the south and east elevations. ❼ Vary the maximum floor plate area above 15 m from 676 m² permitted to 1760.52 m² proposed. ❽ Vary the maximum horizontal dimension above 15 m from 26 m permitted to 64.5 m proposed. ❾ Vary the maximum diagonal dimension above 15 m from 39 m permitted to 70.18 m proposed. ❿ Vary the loading stall requirement from 4 stalls required to 0 stalls provided.

ISSUED TO:	Meiklejohn Architects
LOCATION OF SUBJECT SITE:	460 Doyle Avenue

	LOT	DISTRICT LOT	TWP	DISTRICT	PLAN
LEGAL DESCRIPTION:	4	139		ODYD	KAP57837

<u>SCOPE OF APPROVAL</u>
<input type="checkbox"/> This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.
<input type="checkbox"/> This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.
<input type="checkbox"/> Applicants for a Heritage Alteration Permit should be aware that the issuance of a Permit limits the applicant to be in strict compliance with regulations of the Zoning Bylaw or Subdivision Control Bylaw unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations which are inconsistent with bylaw provisions and which may not have been identified as required Variances by the applicant or City staff.

1. TERMS AND CONDITIONS:

1. The dimensions and siting of the building to be constructed on the land be in general accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land be in general accordance with Schedule "B";
3. Landscaping to be provided on the land be in general accordance with Schedule "C";

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted:

Table 8.2 - Loading Schedule:

Vary the loading stall requirement from 4 stalls required to 0 stalls provided.

Section 14.7.5 (d) Development Regulations - Rear Yard Setback:

Vary the rear yard (lane) setback from 0.0 m permitted to -4.4 m proposed.

Section 14.7.5 (e) Development Regulations - Setbacks above 15m:

Vary the setback for portions of a building above 15 m along Doyle Avenue from 3.0 m required to 0.0 m proposed.

Section 14.7.5 (f) Development Regulations - Setbacks above 15m:

Vary the setback for portions of a building above 15 m abutting another property from 4.0 m required to 0.0 m.

Section 14.7.5 (g) Development Regulations - 80° Inclined Angle:

Vary the inclined plane above 15 m from 80° permitted to 90° for the south and east elevations.

Section 14.7.5 (h) Development Regulations - Floor Plate Area:

Vary the maximum floor plate area above 15 m from 676 m² permitted to 1760.52 m² proposed.

Section 14.7.5 (i) Development Regulations - Horizontal Dimension Above 15m:

Vary the maximum horizontal dimension above 15 m from 26 m permitted to 64.5 m proposed.

Section 14.7.5 (j) Development Regulations - Diagonal Dimension Above 15m:

Vary the maximum diagonal dimension above 15 m from 39 m permitted to 70.18 m proposed.

Section 14.7.5 (l) (i) Development Regulations - Setbacks above 22m:

Vary the building setback from an interior lot line for portions of a building above 22 m from 15 m required to 0.0 m proposed.

Section 14.7.5 (l) (ii) Development Regulations - Setbacks above 22m:

Vary the building setback from a lot line abutting a lane for portions of a building above 22 m from 10m required to -4.4 m proposed;

2. The development shall commence by and in accordance with an approved Building Permit within ONE YEAR of the date of the Municipal Council authorization resolution.

3. DEVELOPMENT:

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

If the Permittee does not commence the development Permitted by this Permit within one year of the date of this Permit, this Permit shall lapse.

This Permit is not transferrable unless specifically Permitted by the Municipality. The authorization to transfer the Permit shall, if deemed acceptable, be granted by Council resolution.

THIS Permit IS NOT A BUILDING Permit.

3. PERFORMANCE SECURITY:

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Permittee and be paid to the Permittee if the security is returned. The condition of the posting of the security is that should the Permittee fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Permittee, or should the Permittee carry out the development Permitted by this Permit within the time set out above, the security shall be returned to the Permittee. There is filed accordingly:

- (a) Cash in the amount of \$ N/A .
- (b) A Certified Cheque in the amount of \$ N/A .
- (c) An Irrevocable Letter of Credit in the amount of \$ TBD .

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

5. APPLICANT'S AGREEMENT:

I hereby declare that all the above statements and the information contained in the material submitted in support of this Permit are to the best of my belief, true and correct in all respects. Upon issuance of the Permit for me by the Municipality, then in such case, I covenant and agree to save harmless and effectually indemnify the Municipality against:

- (a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality granting to me the said Permit.
- (b) All costs, expenses, claims that may be incurred by the Municipality if the construction by me of engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

I further covenant and agree that should I be granted a Development Permit or Development Variance Permit, the Municipality may withhold the granting of any occupancy Permit for the occupancy and/or use of any building or part thereof constructed upon the hereinbefore referred to land until all of the engineering works or other works called for by the Permit have been completed to the satisfaction of the Municipal Engineer and Director of Planning & Development Services.

Should there be any change in ownership or legal description of the property, I undertake to notify the Land Use Management Department immediately to avoid any unnecessary delay in processing the application.

I HEREBY UNDERSTAND AND AGREE TO ALL THE TERMS AND CONDITIONS SPECIFIED IN THIS PERMIT.

Signature of Owner/Authorized Agent

Date

Print Name in Bold Letters

Telephone No.

5. APPROVALS:

DEVELOPMENT PERMIT & DEVELOPMENT VARIANCE PERMIT AUTHORIZED BY THE COUNCIL ON THE 18th DAY OF MARCH, 2014.

ISSUED BY THE URBAN PLANNING MANAGER OF THE CITY OF KELOWNA THE ___ DAY OF MARCH, 2014.

Ryan Smith
Urban Planning Manager